

**NOTE**

- PROVIDE R4.5 MIN. CEILING INSULATION
- R2.5 WALL INSULATION TO ALL EXT. WALLS INCLUDING INTERNAL GARAGE WALL
- DOOR SEALS TO ALL EXTERNAL DOORS
- WINDOW SEALS
- INSULATION TO ALL H.W.S. PIPES
- INSULATION TO ALL AIR CONDITIONING DUCTS

**GENERAL BUILDING NOTES:**

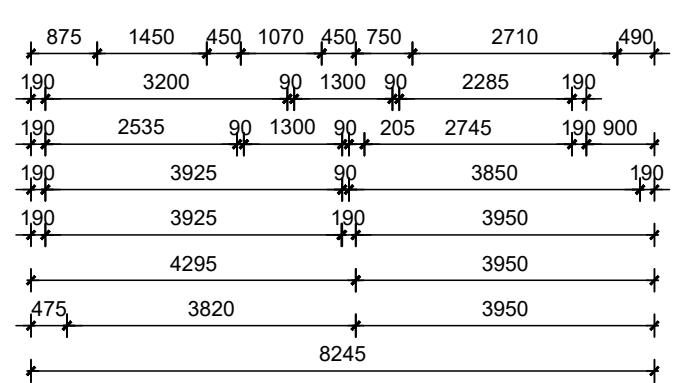
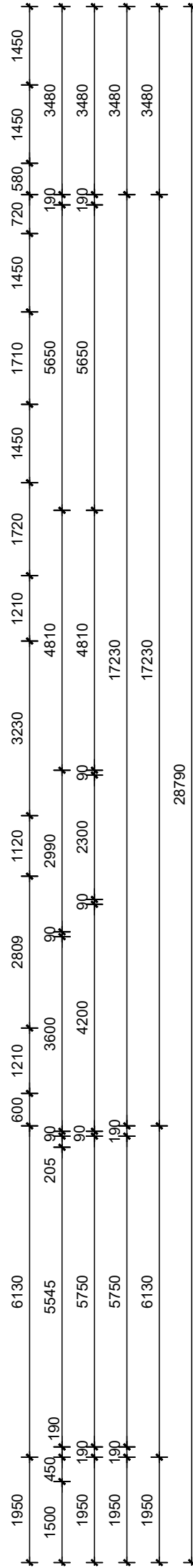
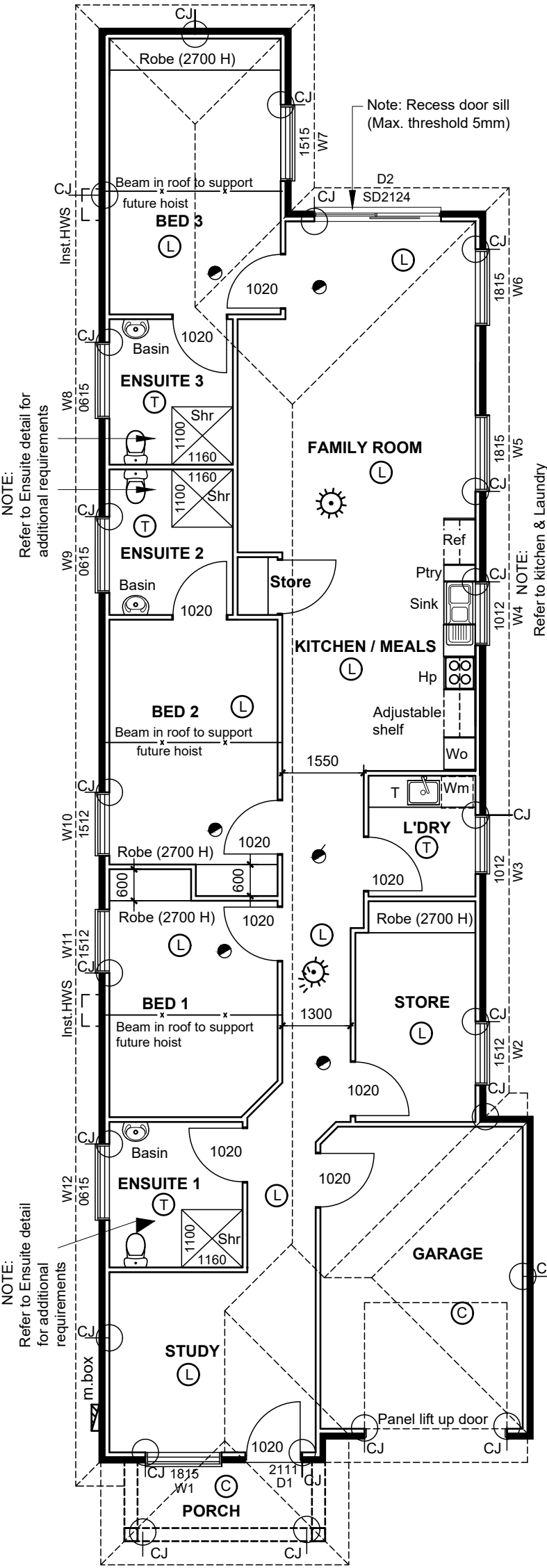
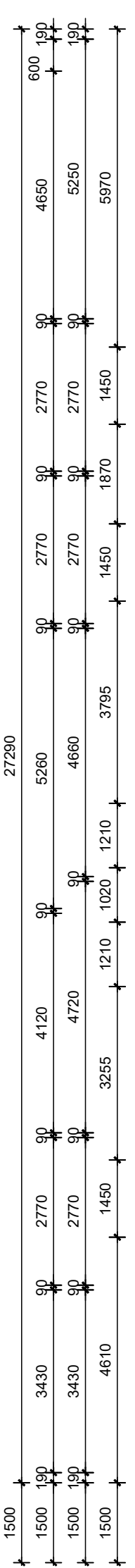
- Proposed Structure to be built as per Residential timber framing code **AS 1684.2 - 2010**
- All exposed timber members and fixings are to be adequately treated with preservative accordance with **AS1604**
- Construction in accordance with National Construction Code
- Gangnail roof trusses to manufacturers installation specifications **AS4440 - 2004**
- The minimum clearance between the WC door hinge & pan is 1200mm refer National Construction Code Part 3.8.3.3. If this cannot be achieved install either door swinging outwards, a sliding door or provide a 'Dalco 13301' (or similar) escape hinge set, fixed as specified by manufacturer
- White ant treatment under floor to **AS 3660.1 - 2000** Termi mesh to all penetrations & pipe Min. 75mm slab edge between DPC & paving for visual inspection Installer to provide certificate in accordance with **AS3660.1-2000** stating method of application and certificate of completion.
- NOTE:- Roof bracing & Tie down details to Roof & Walls as required by **AS 1684.2 - 2010** -Residential timber - framed construction
- Window & Door frame Glazing to comply with **AS1288 - 2006**
- All glazing is to be supplied and installed in accordance with **AS 1288.1**
- Selection & installation to comply with **AS2047 - 1999, AS2688, & AS2689**
- NOTE:-Hot water supply system shall be designed & installed in accordance with **Section 6A of -AS/NZS 3500.4.2 or Clause 3.38 of AS/NZS 3500.5.**
- Weather seals to all external doors
- Exhaust fans & range hood to contain damper seals
- Down lights to be sealed & contain heat covers
- Brick veneer construction to **AS 3700 - 2011**
- 240 Cavity walls,500um DPC, Weep holes at 1200 max cts Wall ties 3mm diameter at 600 cts every 4th course to **AS 2699.1 - 2000** Control Joint details (C.J) as per Engineer
- **DOOR & WINDOW STRAPS**
- Unless provision is incorporated in the frames, fix all door & window frames in position with 32x.08 kinked galvanised steel straps secured to frames and set at least 300 into brickwork. Space straps at a max of 400 intervals
- **MORTAR MIX**
- Common mortar made from Portland cement one part cement to one part of lime and 6 parts of sand to comply with **AS3700**
- All electrical work carried out, to be in accordance with AS 3000.
- All steel work to comply with BCA-part 3.4.2.
- All wet area details to comply with **AS 3740**
- **NO** brush fence shall be constructed within 3000 of any building
- Note: All demolition and associated works shall be carried out in accordance with AS2601-2001

NOTE : Layout and fixtures to the toilet for people with disabilities will be in accordance with AS 1428.1-2010 including

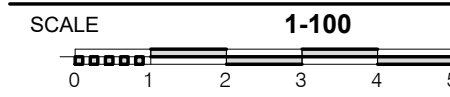
1. Provide a clothes hanging device (not within 600mm to an internal corner)
2. Provision of free access space under the hand basin in accordance with figure 43 of AS 1428.1-2010
3. A pan backrest is installed complying with AS 1428.1-2009 Clause 15.2.4 capable of withstanding a force in any direction of 1100N
4. Height of seat between 460mm & 480mm above FFL
5. Provision of privacy latch where a snib catch is used, snib handles shall have a minimum length of 45mm from centre of spindle
6. Provide a Braille and tactile signage provided to sanitary facilities to comply with BCA-D3.6 by owner after handover NOTES :
7. Provide separate plumbing for laundry & ensuite cold water taps ready for connection to rainwater outside Living (refer to site plan for detail). Connection prior to occupancy
8. Lever style hardware (as specified) to be installed at between 900-1100 AFL
9. Basins, sinks & tubs feature lever style tap hardware with a central spout
10. Ensuities to have full skirt tile throughout with 2400H wall tiles to all showers
11. 600mm minimum clearance forward of WC cisterns
12. Flooring & tiling throughout to be R10 compliant
13. Handle clearance for D-Pull style door hardware to comply with AS 1428.1 2009
14. WC centre line of pan between 450mm-460mm from nearest wall
15. Slip resistant floor finishes to extend under kitchen and laundry cabinetry
16. Automation to doors by owner
17. Maximum 5mm thresholds throughout
18. Window controls operational by 1 hand from either seated or standing position
19. NOTE: Allow a Min. clearance 110 hinge side space for hinged doors.

**LEGEND:**

- Self-contained ceiling mounted interconnected smoke detector/alarm, which complies with **AS 3786-2014** or as listed on SSL Register of accredited products & must be connected to consumer mains power with battery backup Refer floor plan for smoke alarm positions. Note: Connected to existing alarms
- ☀ Light to be activated by the smoke alarms
- C.J Control joints
- L Laminate floor
- T Tiled floor
- C Concrete floor



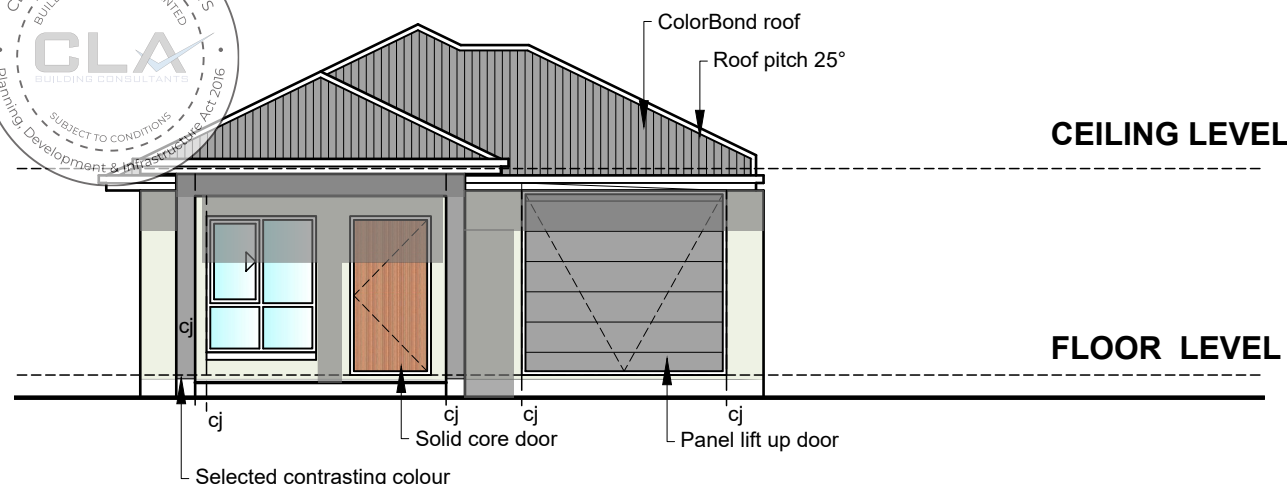
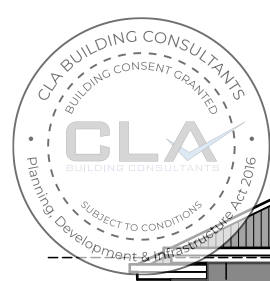
**GROUND FLOOR PLAN**



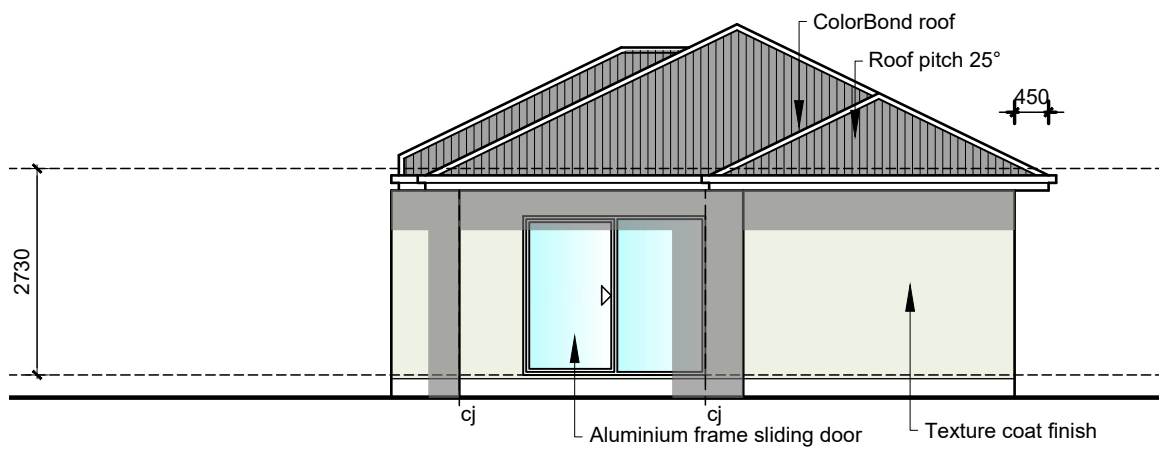
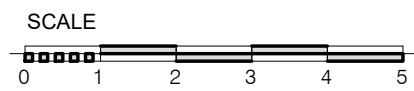
A R E A	
MAIN	167.58
GARAGE	24.11
PORCH	5.73
<b>TOTAL</b>	<b>197.42</b>

<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 1	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Plan	

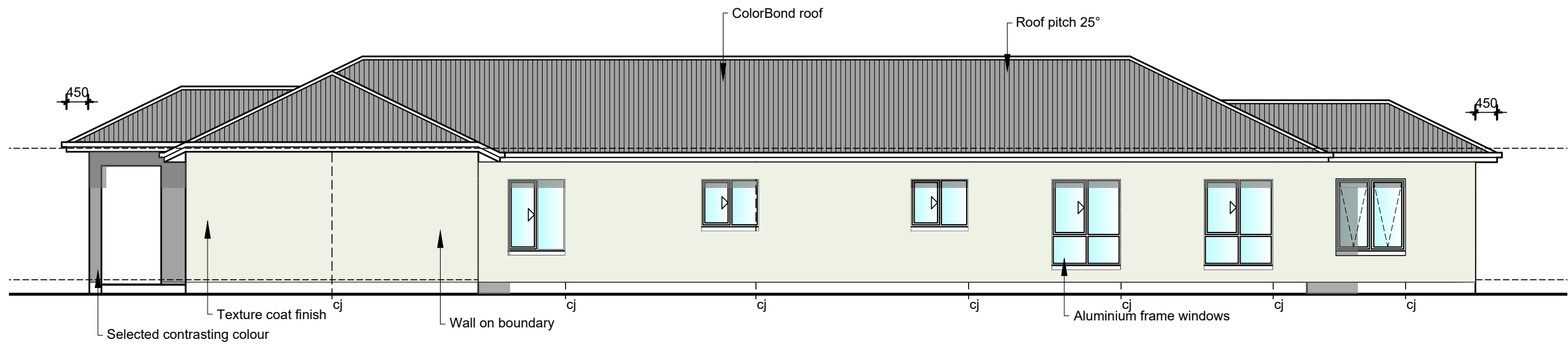
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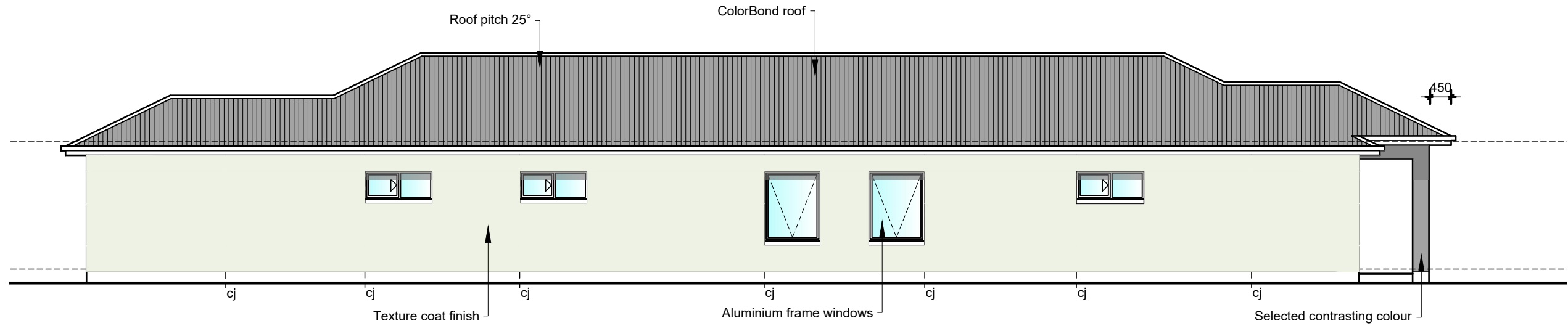
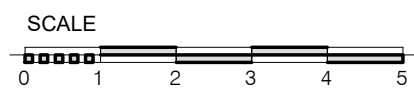
**EAST ELEVATION**



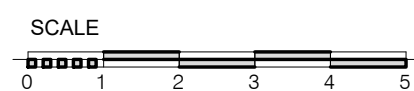
**WEST ELEVATION**



**NORTH ELEVATION**



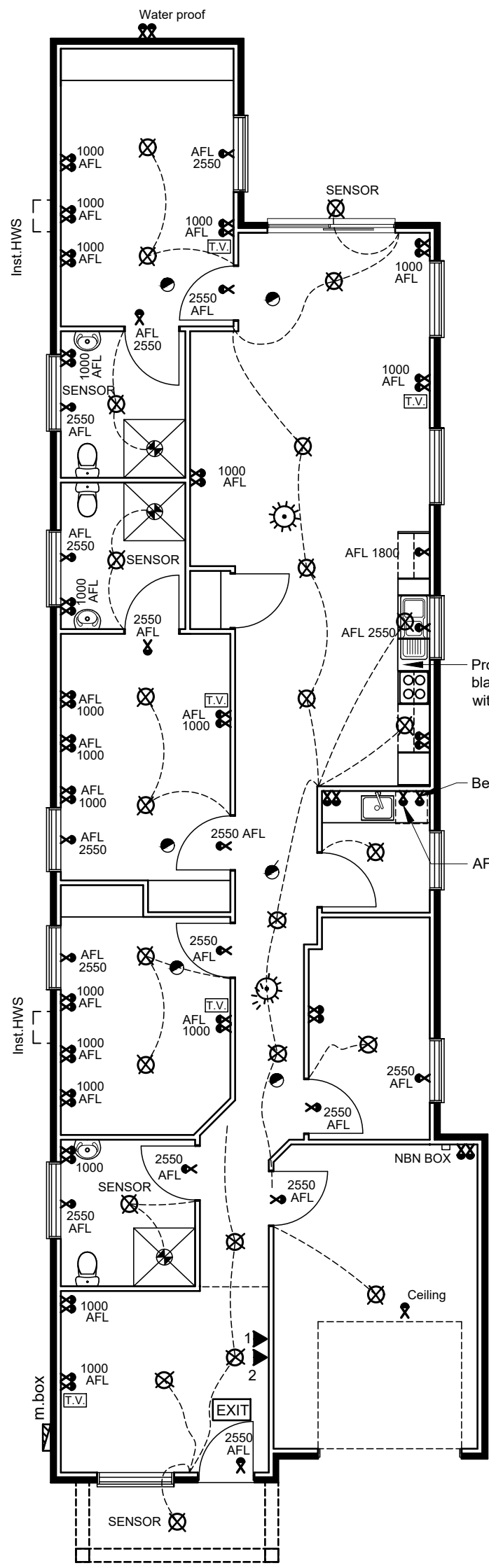
**SOUTH ELEVATION**



- The structure shall comply with ABCB Housing Provisions
- Part 3.2.1 Un-retained bulk earthworks - site cut and fill
- Part 3.3.2 Drainage requirements
- Part 3.3.3 Surface water drainage
- Part 3.3.4 Subsoil drainage
- Part 3.3.5 Storm water drainage
- Part 3.4.1 Requirements for termite management system
- Part 3.4.2 Termite management system
- Part 3.4.3 Durable notice
- Part 4.2 Footings, slabs and associated elements
- Part 5.2 Masonry veneer
- Part 5.3 Cavity masonry
- Part 5.4 Unreinforced single leaf masonry
- Part 5.5 Isolated piers
- Part 5.6 Masonry components and accessories
- Part 5.7 Weatherproofing of masonry
- Part 6.2 Subfloor ventilation
- Part 6.3 Structural steel members
- Part 7.2 Sheet roofing
- Part 7.3 Roof tiles and shingles
- Part 7.4 Gutters and down pipes
- Part 7.5 Timber and composite wall cladding
- Part 8.2 Windows and external glazed doors
- Part 8.3 Glass
- Part 8.4 Glazing human impact
- Part 9.2 Fire separation of external walls
- Part 9.3 Fire protection of separating walls and floors
- Part 9.4 Fire protection of garage top dwellings
- Part 9.5 Smoke alarms and evacuation lighting
- Part 10.2 Wet area waterproofing
- Part 10.3 Room heights
- Part 10.4 Facilities
- Part 10.5 Light
- Part 10.6 Ventilation
- Part 10.7 Sound insulation
- Part 10.8 Condensation management
- Part 11.2 Stairway and ramp construction
- Part 11.3 Barriers and handrails
- Part 12.3 Attachment of framed decks and balconies to external walls of buildings using a waling plate
- Part 12.4 Heating appliances, fireplaces, chimneys and flues
- Part 13.2 Building fabric
- Part 13.3 External glazing
- Part 13.4 Building sealing
- Part 13.5 Ceiling fans
- Part 13.6 Whole-of-home energy usage
- Part 13.7 Services



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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 2	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Elevations	



	SINGLE GPO	
	DOUBLE GPO	
	T.V. POINT	
	LIGHT	
	WALL MOUNTED LIGHT	
	LED DOWN LIGHT	
	FLOOD LIGHT	
	HEATER/LIGHT/EXHAUST	
	Smoke alarms as per AS 3786	
	TELEPHONE POINT-CLIENT TO ARRANGE WITH TELSTRA	
	INTERCOM POINT	
	EXHAUST FAN	
	SINGLE GPO FOR MOTORISED BLIND LOCATED ON WALL APPROX. 150MM ABOVE RIGHT HAND SIDE OF BLIND	
	Light to be activated by the smoke alarms	

SINGLE POWER POINTS X NOT SHOWN ON FLOOR PLAN ..... BEING FOR  
 H/PLATE  
 OVEN  
 R/HOOD  
 M/WAVE  
 D/WASHER  
 HOT WATER SERVICE  
 PUMP FOR R/WATER TANK  
 HOIST PROVISION  
 EXIT SIGN LIT UP

NOTE : DIMMER SWITCHES TO LIVING & BEDROOMS

- 4.5KG DRY CHEMICAL FIRE EXTINGUISHER ▲
- 9 LITRE WATER FIRE EXTINGUISHER ▲

- NOTES :
1. PROVIDE SENSOR TO EXTERNAL LIGHTS
  2. ALL BATHROOM LIGHTS TO HAVE SENSOR POINTS

NOTE :  
 TASK LIGHTING SHALL BE PROVIDED ABOVE WORKSPACES. A MINIMUM 300 LUX SHALL BE ACHIEVED WHEN TESTED AT MAXIMUM INTERVALS OF 1500MM, DIRECTLY OVER THE SURFACE OF THE BENCH TOPS.  
 NOTE : AT LEAST ONE DOUBLE GPO SHALL BE PROVIDED WITHIN 300MM FROM THE FRONT EDGE OF THE BENCH TOP (FROM THE EDGE WITHIN THE KITCHEN AREA) AND MAX HEIGHT OF 1100MM FROM FFL..... GPO SHALL BE LOCATED ADJACENT TO A BENCH OF MINIMUM 600MM.

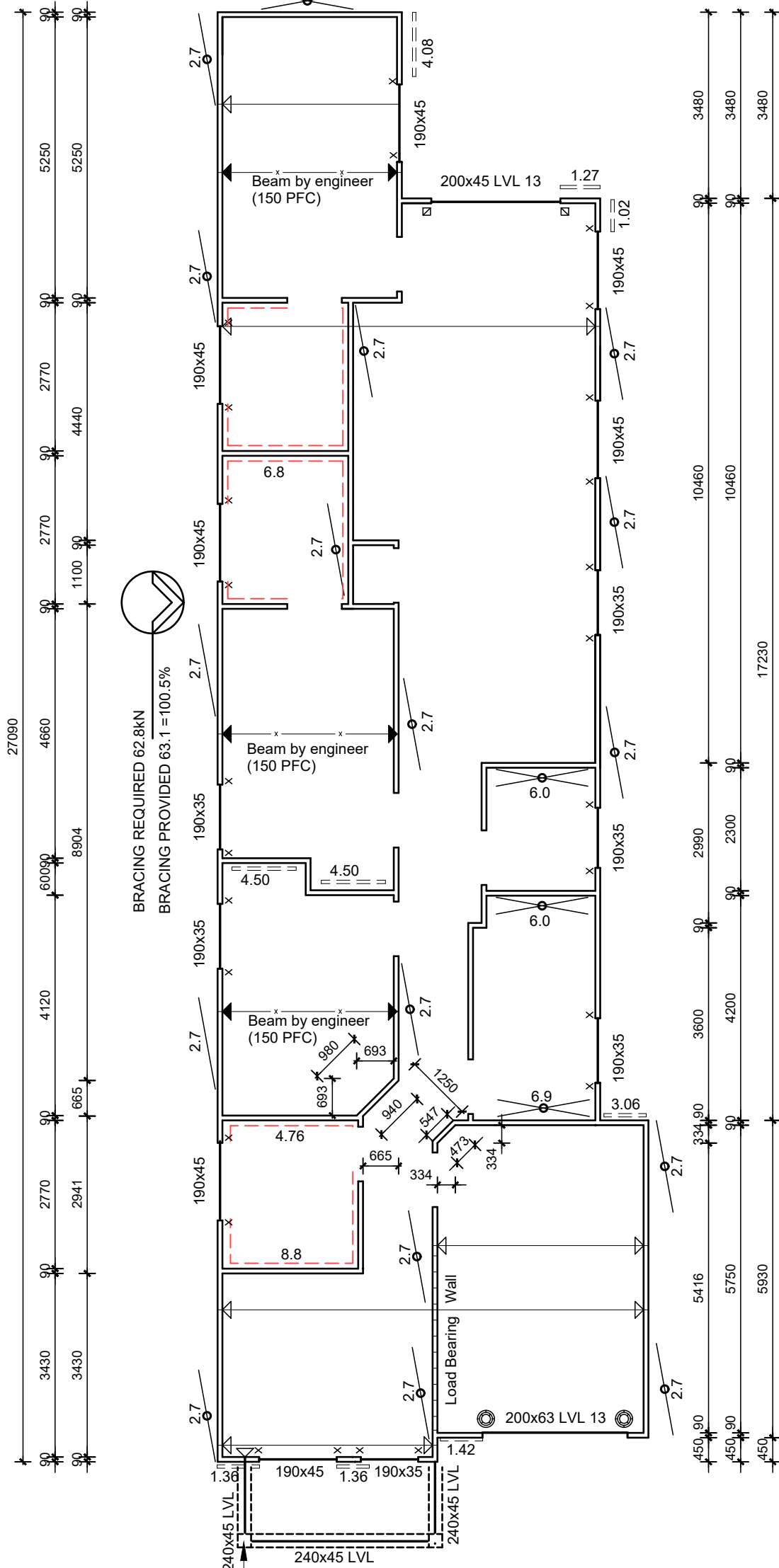
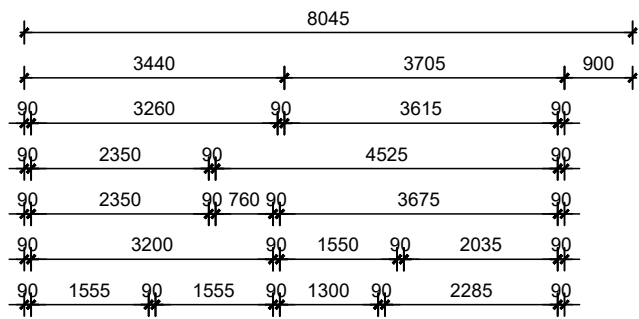
NOTE : A SYSTEM OF LIGHTING MUST BE INSTALLED TO ASSIST EVACUATION OF OCCUPANTS IN THE EVENT OF A FIRE, AND -  
 A) BE ACTIVATED BY THE SMOKE ALARM REQUIRED BY 3.7.5.4(B); AND  
 B) CONSIST OF -  
 1) A LIGHT INCORPORATED WITHIN THE SMOKE ALARM  
 2) THE LIGHTING LOCATED IN THE CORRIDOR, HALLWAY OR AREA SERVED BY THE SMOKE ALARM

# ELECTRICAL PLAN



High Physical Support

<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 3	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphet Vale	<b>DRAWING TITLE</b> Electrical plan	



# WALL FRAME PLAN



## WALL FRAMING MEMBERS (MAIN MEMBERS ONLY)

Studs 90x35MGP10 @ 600ccrs & 450 ccrs. to wet area  
 (Studs at 300 ccrs to areas with floor / ceiling tiles)  
 Top plate 90x45 (with trusses located directly over stud)  
 Bottom plate 90x45  
 Noggin 90x35 at 1350 max Ccrs

TOP BRACING PANEL SHALL BE FIXED TO RAFTERS TO COMPLY WITH AS 1684

ALL FRAMING TIMBER SHALL BE MIN STRESS GRADE MGP10 JD4 TO COMPLY WITH AS 1684 UNLESS OTHERWISE NOTED

### Note

Lintels shall be located directly below top plate.  
 ALL TRUSSES SHALL BE LOCATED DIRECTLY OVER A COMMON STUD  
 Provide TWO common studs to all load bearing beams Unless other wise nominated  
 Provide Min. 3 studs to all wall junctions

- INTERNAL NON LOAD BEARING WALL 20mm LOWER THAN LOAD BEARING WALLS
- UNLESS TWO OR MORE JAMB STUDS ARE NOMINATED. LINTELS TO EXTEND PAST JAMB STUD TO ADJACENT COMMON STUD
- UNLESS NOMINATED ALL TIMBER SHALL BE MGP10 PINE
- ALL SIZES NOMINATED ARE MINIMUM SIZE

### LEGEND

- 1.5kN/m Metal angle of min. nominal section 20x18x1.2 (1.5kN/m)
- 3.0kN/m Diagonal Tensioned metal straps (3.0kN/m)
- 3.4 kN/m Plywood bracing(3.4kN/m)
- 3.4 kN/m Plywood bracing(3.4kN/m)

- × Jamb Studs opening two 90x35
- ⊠ Jamb Studs opening three 90x35
- ⊙ Jamb Studs opening five 90x35
- ▽ Studs two 90x35
- ◀ Column 89x5.0 SHS refer engineer's details
- TV Reinforced niche for TV (Size to be confirmed)

NOTE:  
 All internal walls of ensuites shall be reinforced with 12mm thick ply wood from floor level to ceiling

### TIE DOWNS IF APPLICABLE

- Battens to Rafter One No. 14 Bugle screw with 38 penetration Alternative No. 14 Type 17 Screw 50mm penetration to top chord/ rafter
- Rafter to plate 30x0.8 Looped metal strap with three 2.8 nails each end to top plate at 1200 max. ccrs.
- Beam to Lintel 30x0.8 Looped metal strap with five 2.8 nails each end to top plate
- Plate to stud 30x0.8 Looped metal strap with three 2.8 flat head nails at 1200 max. ccrs.
- Plate to brick wall 30x0.8Galv. metal strap looped over rafter and M8 masonry anchor at ends 900 down from top
- Plate to floor 14 Gauge screw to floor joists at 900 max. ccrs.
- Rafter to fascia Framing anchor with 4/ 2.8 nails in each leg,
- Beam Two 14 Bugle screws
- Column to fascia Two M10 Bolts to col & 40x40x80 long support bracket with three 14 gauge self drilling screws to posts

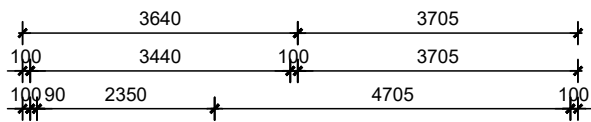


High Physical Support

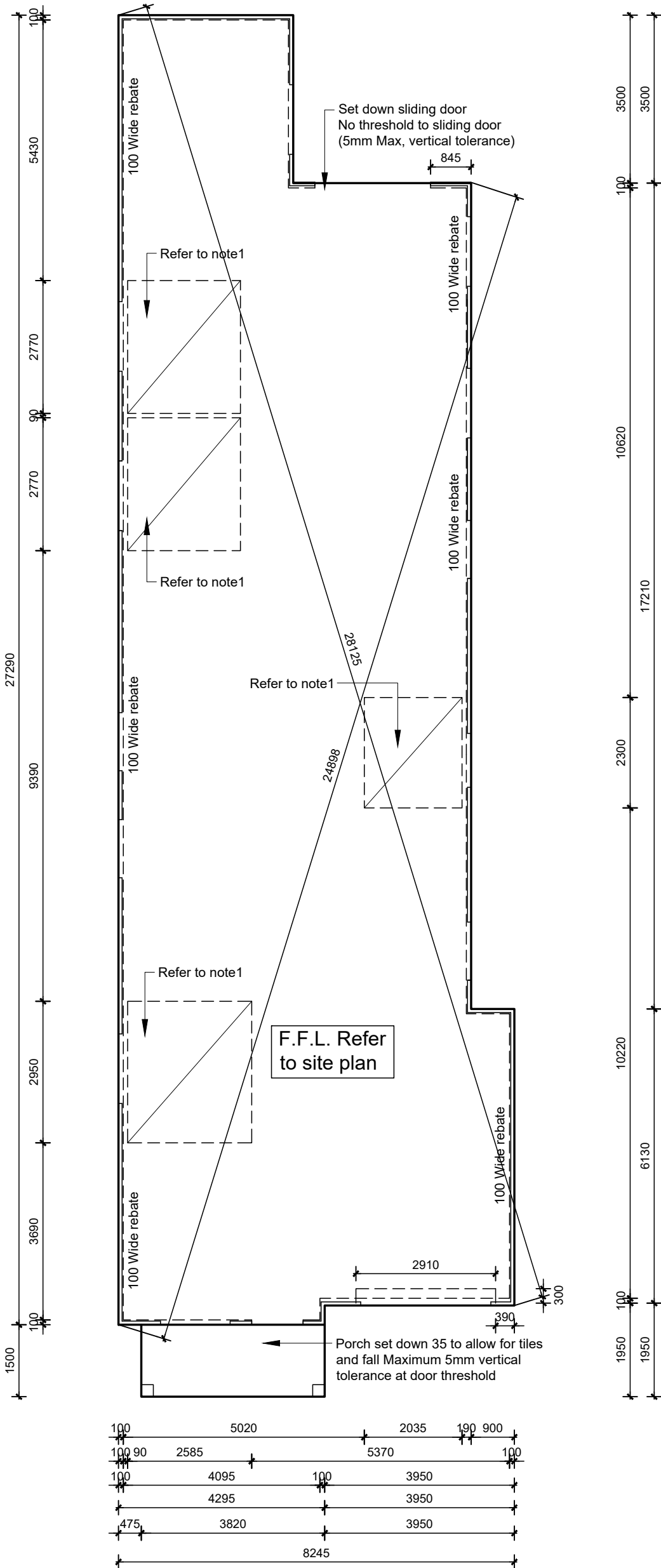


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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 4	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Wall frame plan	



NOTE 1:  
Set Down slab to accommodate Tiles  
allowing 5mm Max, vertical tolerance at door  
threshold TYPICAL FOR ALL WET AREAS



**NOTE:**

This plan is a slab layout plan only & must be read in conjunction with the engineer's reports and footing plan.  
Beam locations shall in all cases comply with the engineers footing plans  
The engineers footing plan must be fully complied with & will at all times take precedence over this plan.  
All dimensions must be read in conjunction with the ground floor plan. Any discrepancy must be reported to the designer  
NOTE: IF HEBEL IS TO BE USED FOR EXTERNAL CLADDING IN LIEU OF BRICK REBATE SHALL BE REDUCED TO 100

**SLAB LAYOUT PLAN ONLY  
REFER TO ENGINEER'S PLAN**

SCALE

1-100

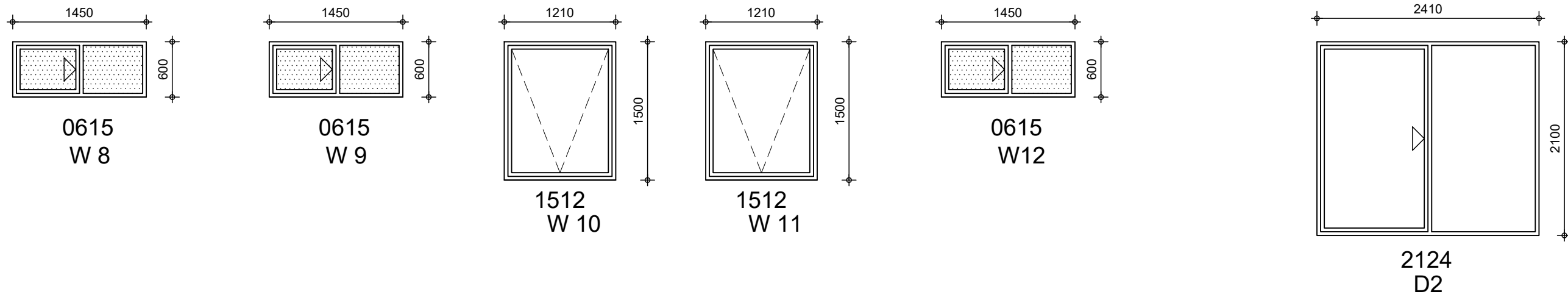
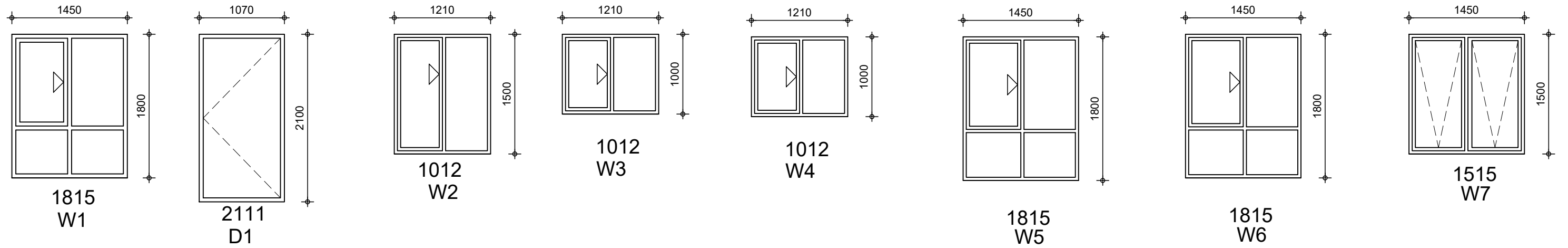


High Physical Support



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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 5	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Footing plan	




**NOTE:**

- ALUMINIUM FRAMED WINDOWS TO ALL DWELLINGS
- ALL OPENING WINDOWS TO INCLUDE FLY SCREENS
- ALL DIMENSIONS TO BE CONFIRMED PRIOR TO MANUFACTURING AND INSTALLATION
- REFER TO INDEPENDENT ENERGY EFFICIENCY REPORT FOR ALL INSULATION AND GLAZING REQUIREMENTS

**WINDOW AND DOOR SCHEDULE**

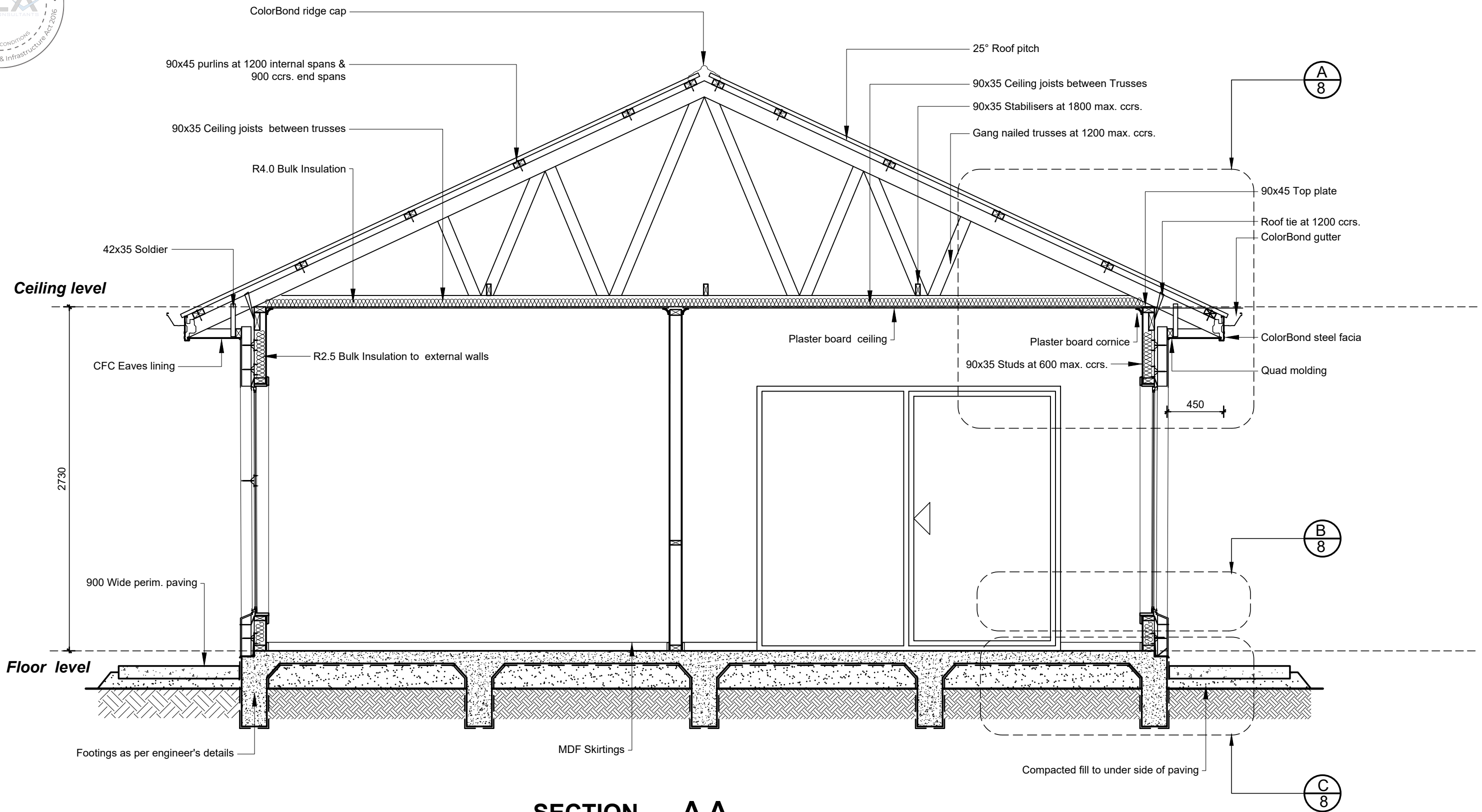
SCALE 1-50

LEGEND

 Obscure Glazing

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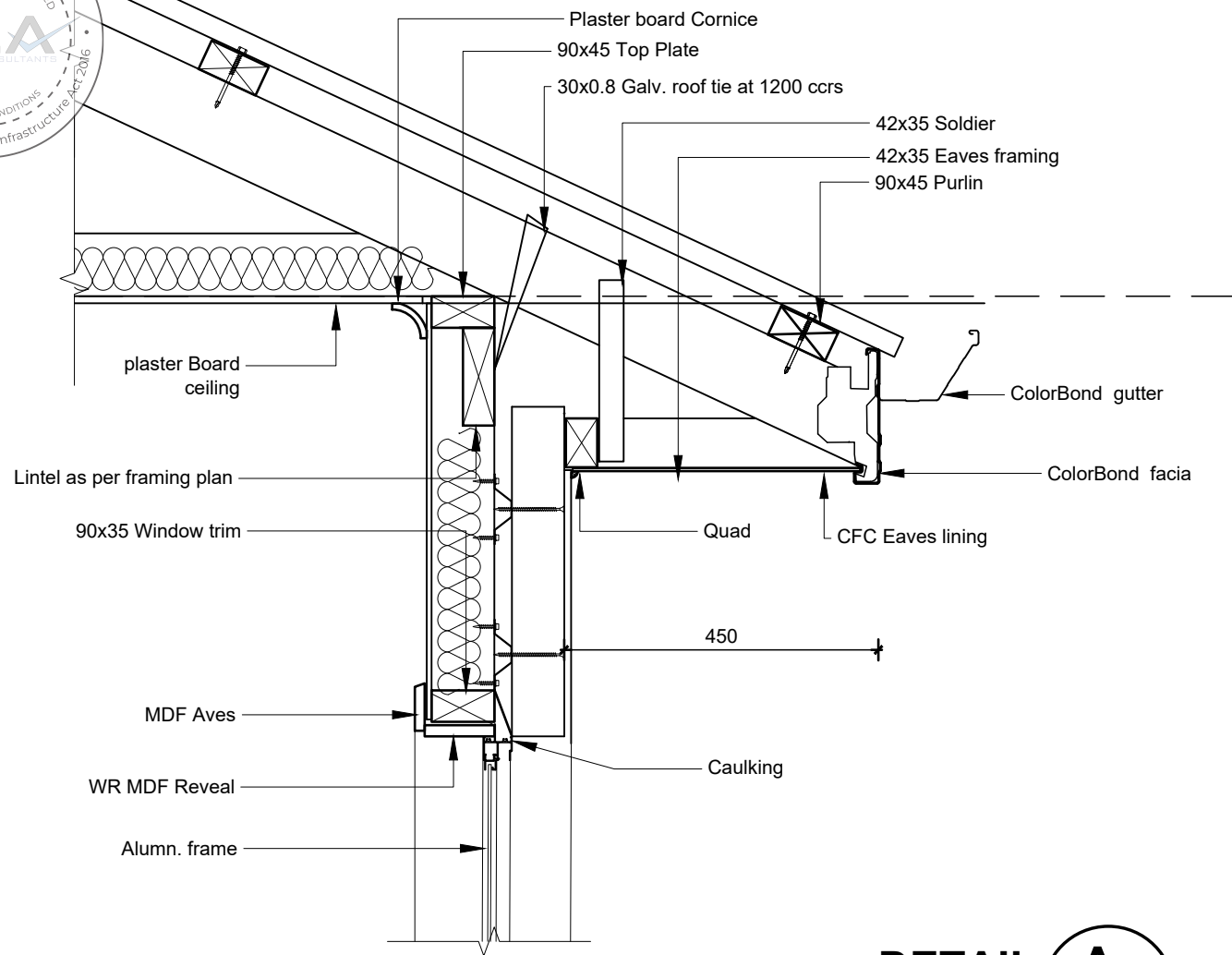
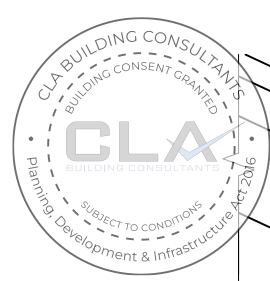
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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 6	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Window schedule	



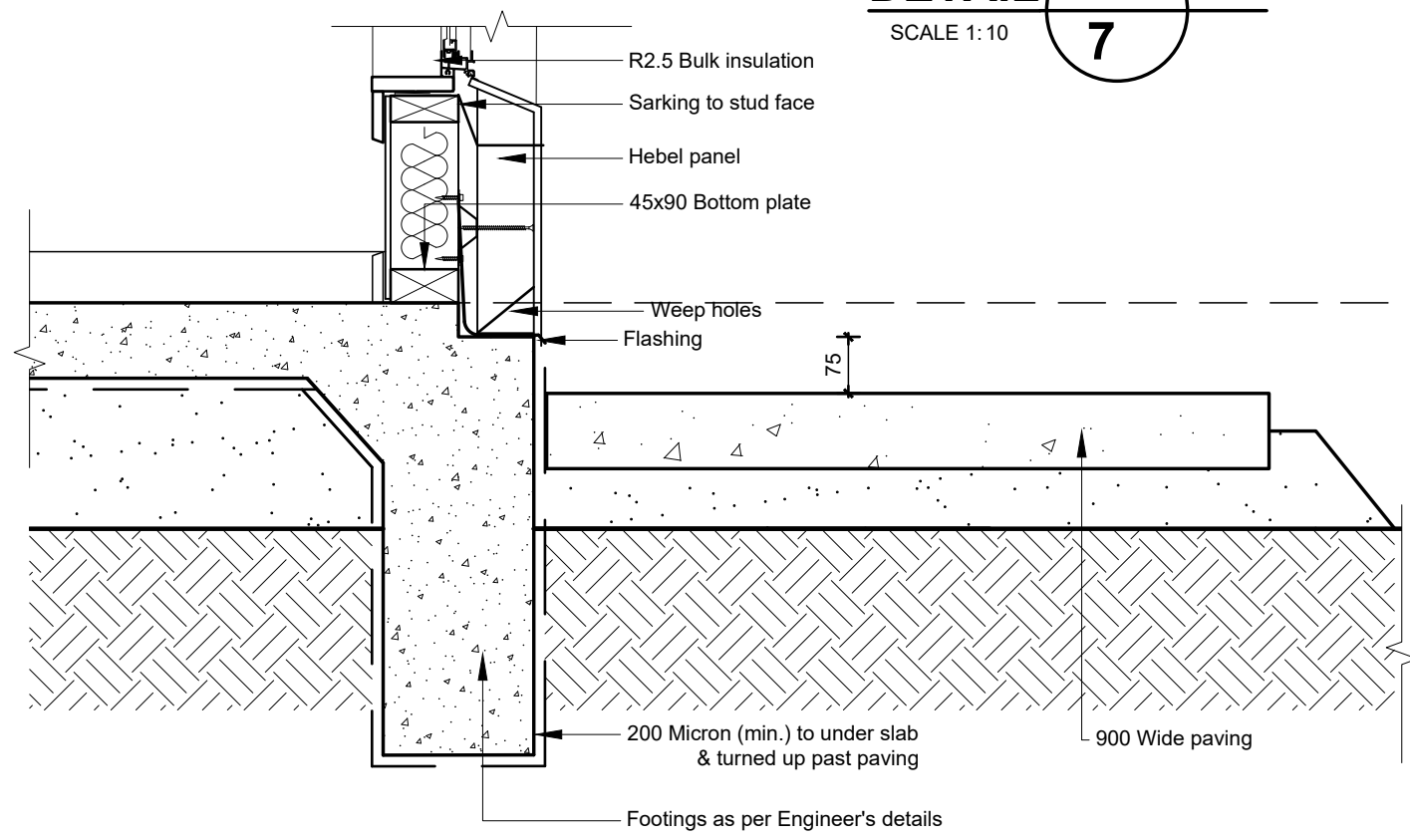
**SECTION A A**  
SCALE 1:30

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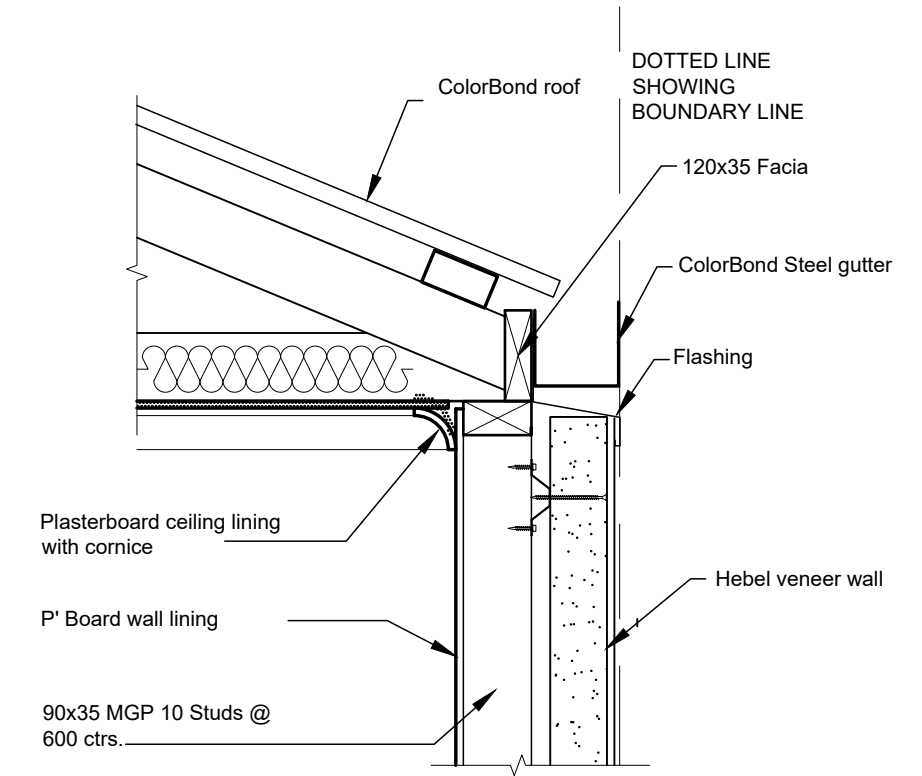
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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 7	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Section	



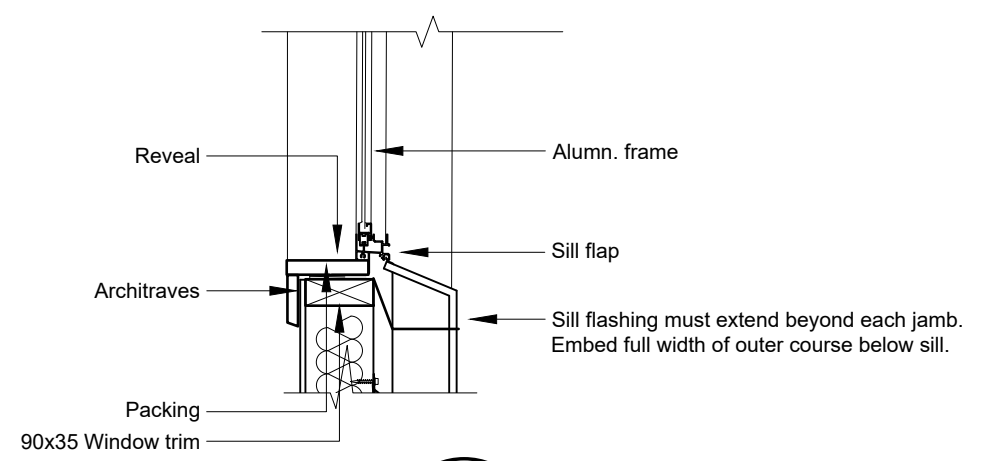
**DETAIL A**  
SCALE 1:10  
**7**



**DETAIL C**  
SCALE 1:10  
**7**



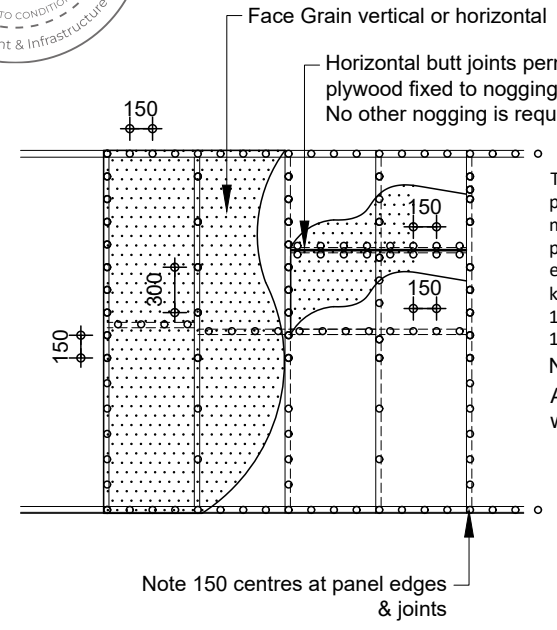
**TYPICAL BOUNDARY GUTTER DETAIL 1:10**



**DETAIL B**  
SCALE 1:10  
**7**

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<b>PROJECT No.</b> 190820231		<b>SHEET</b> 8	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details





This system uses a minimum thickness of 7mm, F8 structural plywood at a maximum stud spacing of 600mm. This system may be used for sheathed sections less than 900mm wide, provided the appropriate reduction factor from the section entitled "Short Wall Bracing Systems" is applied to the 3.4 kN/m bracing capacity. As indicated, fastener centres are 150mm Top and Bottom Plate, 150mm Vertical Edges, 150mm Nogging, 300mm Intermediate Studs.

Note:  
At least one side of the bracing wall shall be lined with gypsum plaster board or equivalent

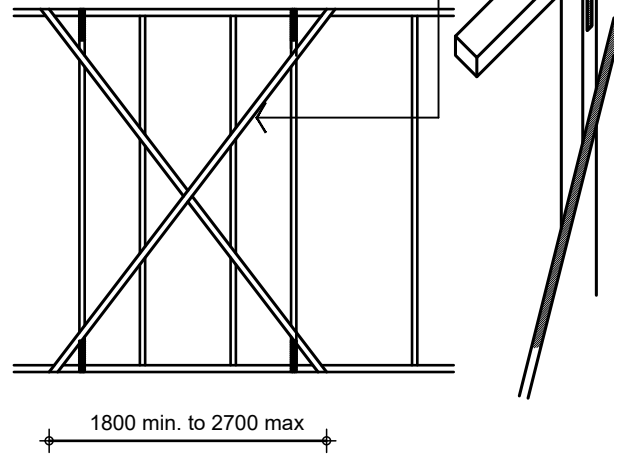
Plywood Stress Grade	Stud Spacing	
	450	600
F8	7	9
F11	6	7

**PLYWOOD BRACING**  
(B.C. 3.4 Kn/m)

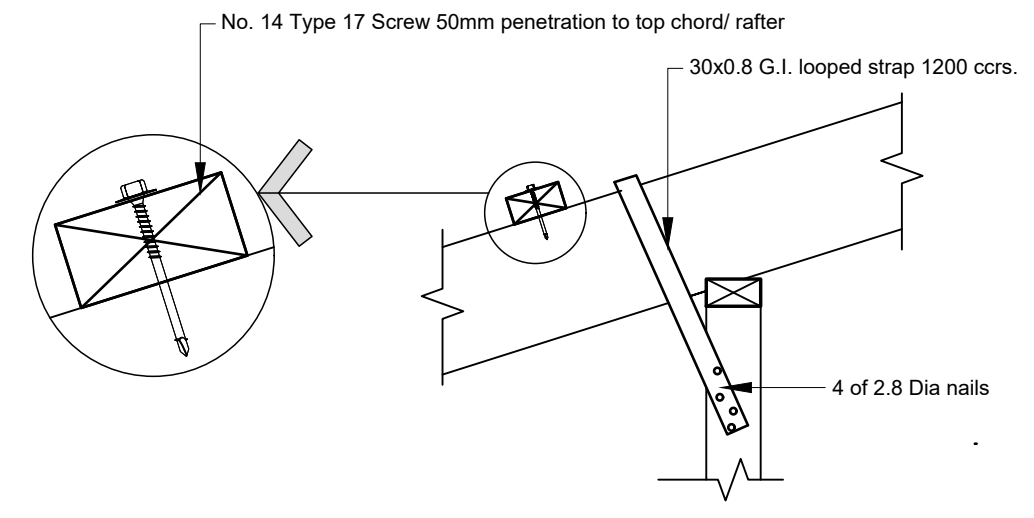
30x0.8 metal strap looped over plate & fixed to stud with 4/30x2.8 diam. flathead nails to each end.

Alternative provide single straps to both sides, with 4 nails per strap end or equivalent anchors

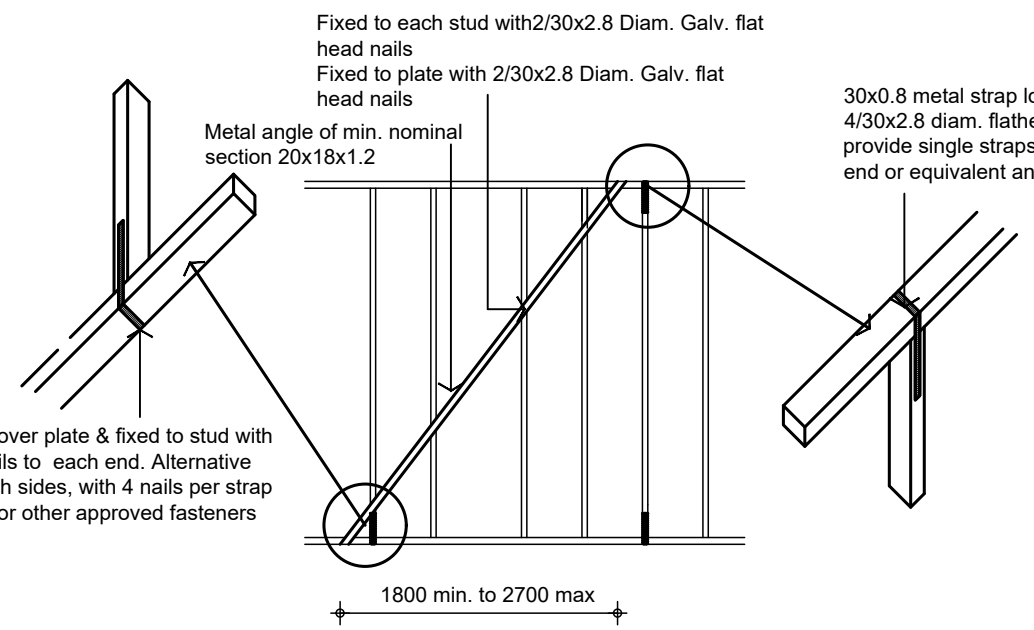
30x0.8 (or equivalent) tensioned galv. metal straps nailed to plates with 4/30x2.8 diam. galv. flathead nails to each end.



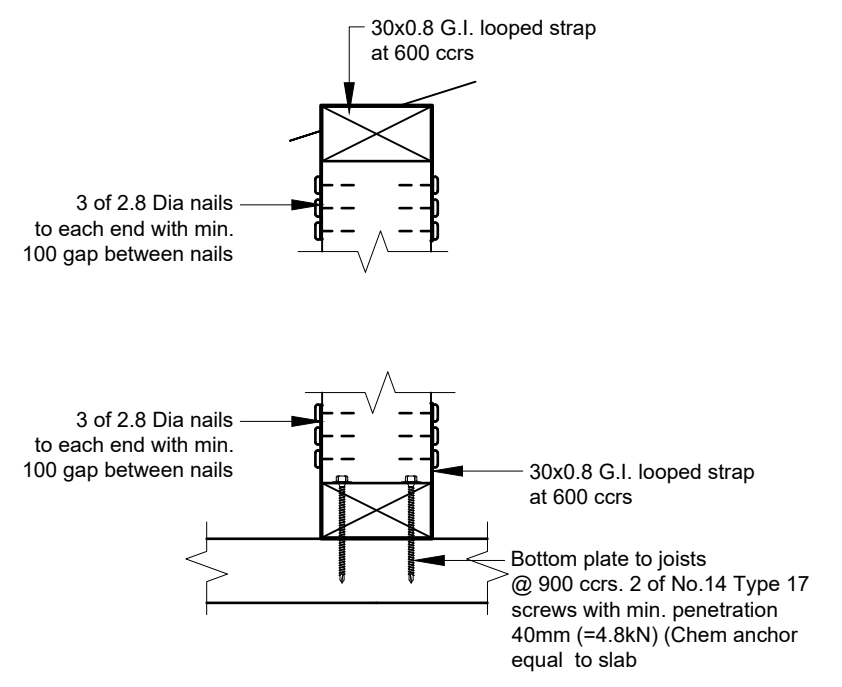
**DOUBLE DIAGONAL TENSION METAL STRAP BRACES** (B.C. 3.0 Kn/m)



**TYPICAL RAFTER TO WALL & PURLING TIE DOWN**



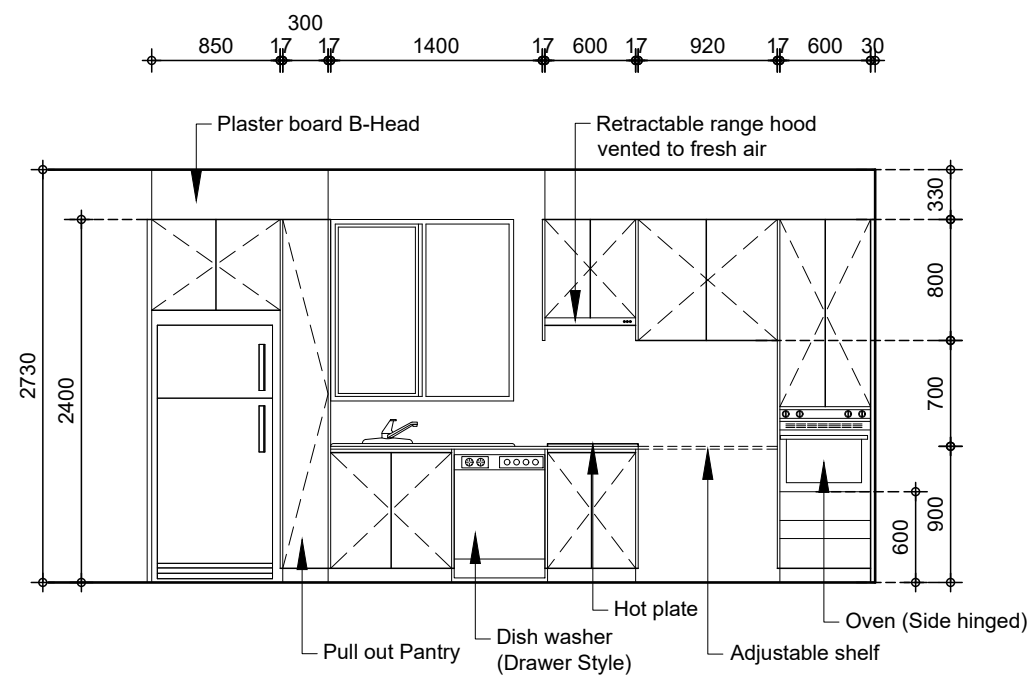
**ANGLE BRACING METAL BRACE** (B.C. 1.5 Kn/m)



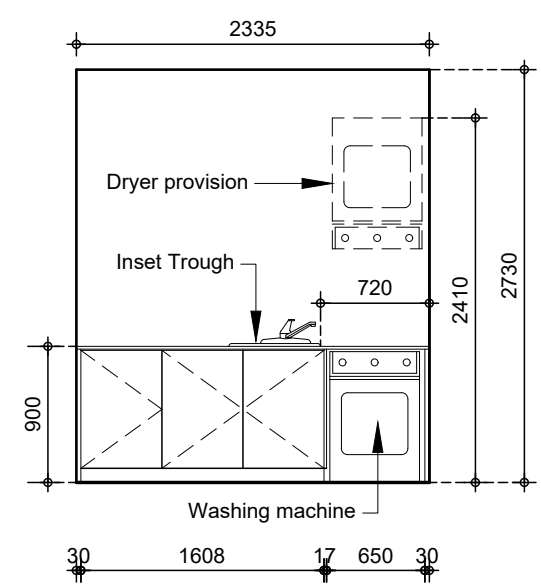
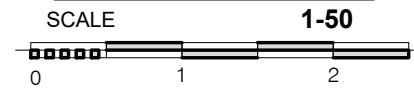
**TIE DOWN TO TOP & BOTTOM PLATES**



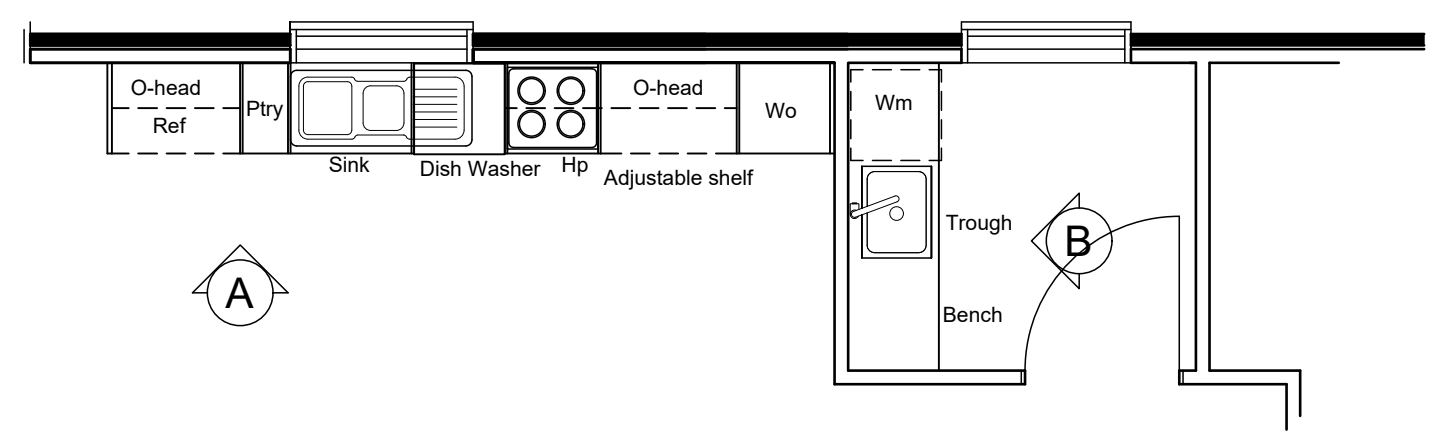
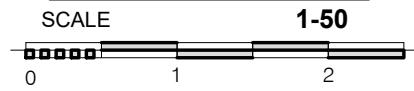
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 9	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



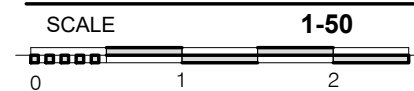
**ELEVATION A**



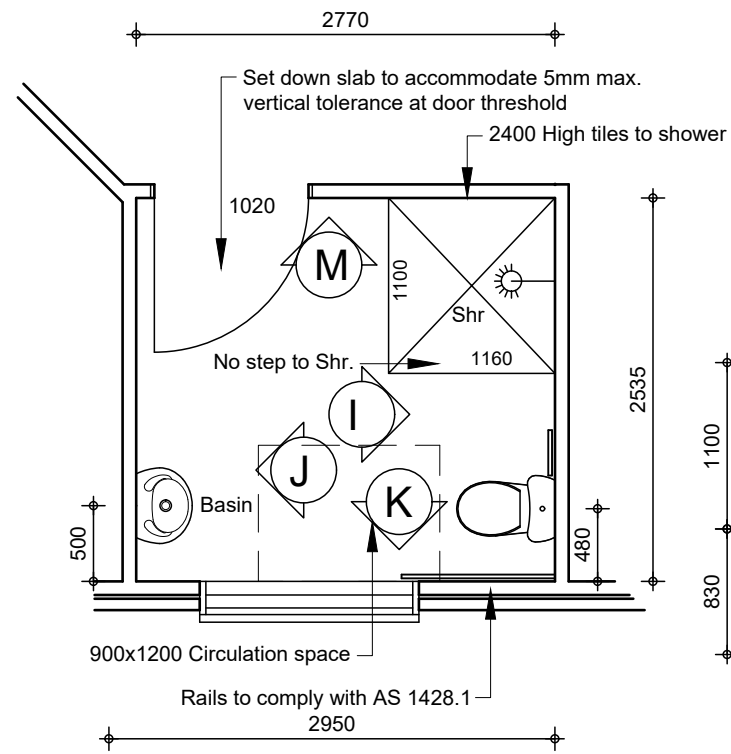
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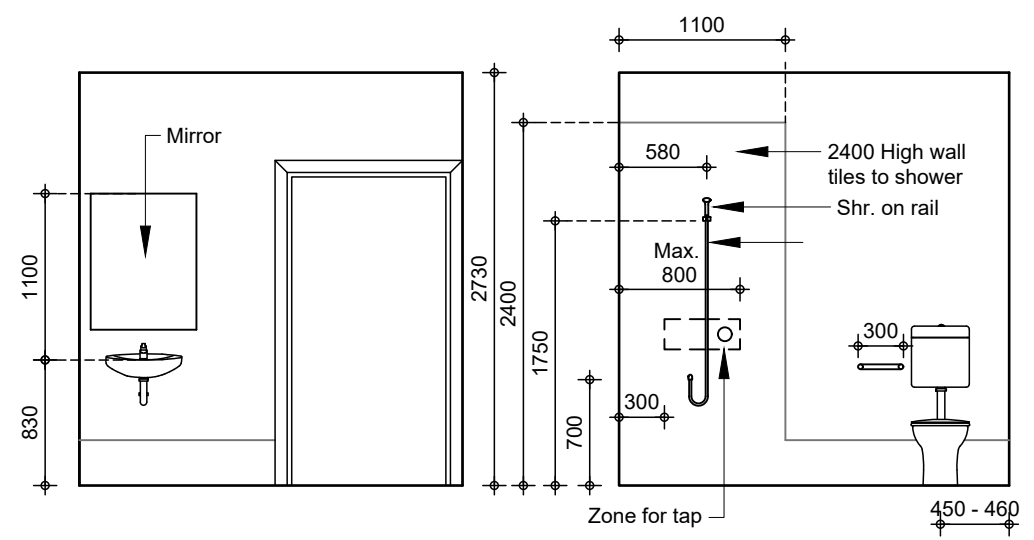
**GROUND FLOOR PLAN KITCHEN / LAUNDRY**



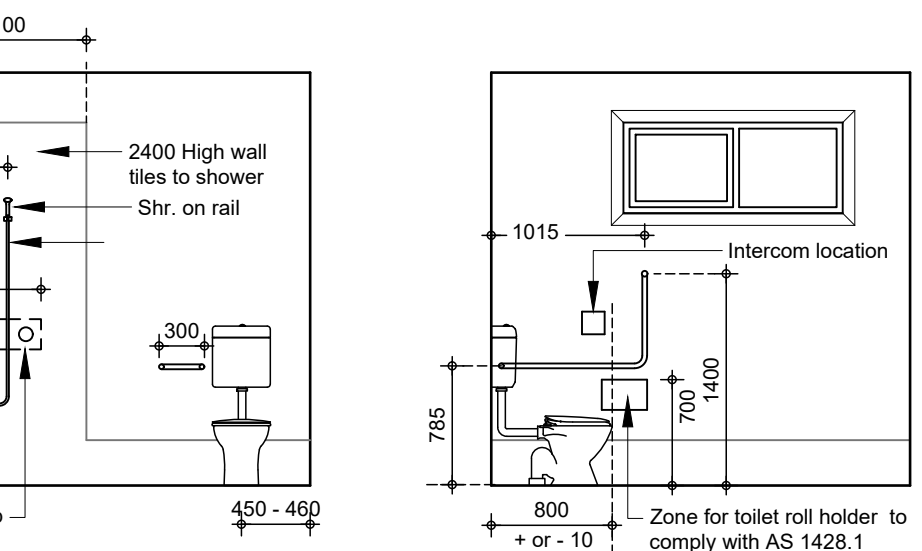
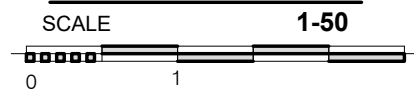
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
	<b>PROJECT No.</b> 190820231	<b>SHEET</b> 10	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details



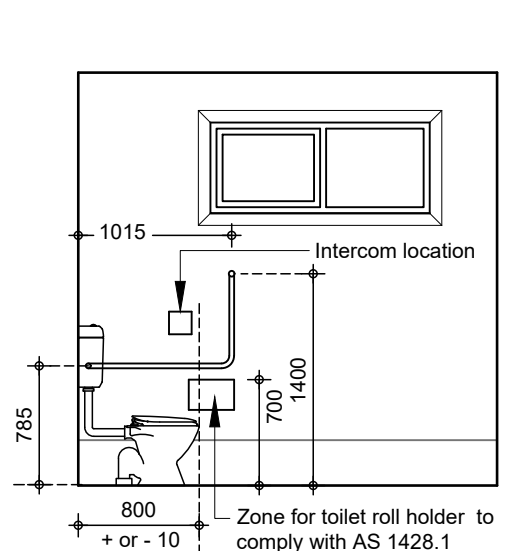
**NOTE:**  
All internal walls of ensuites shall be reinforced with 12mm thick ply wood from floor level to ceiling



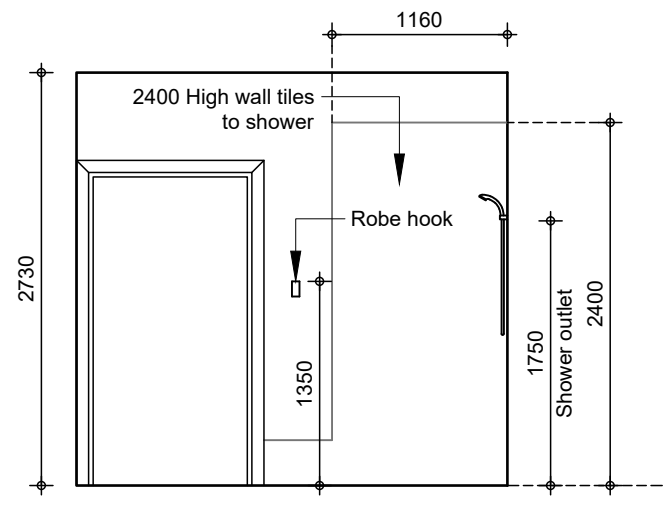
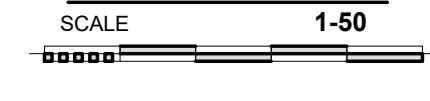
**ELEVATION J**



**ELEVATION I**



**ELEVATION K**



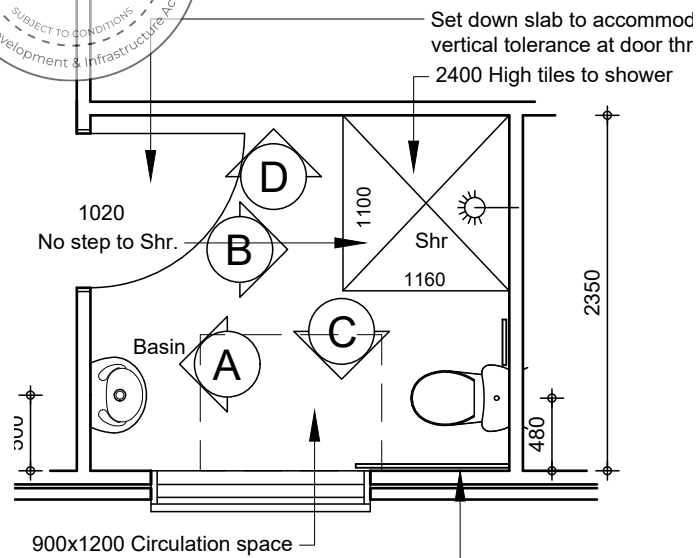
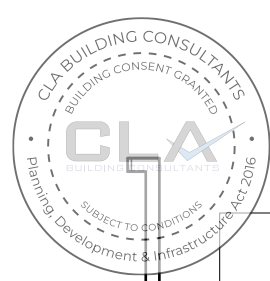
**ELEVATION M**



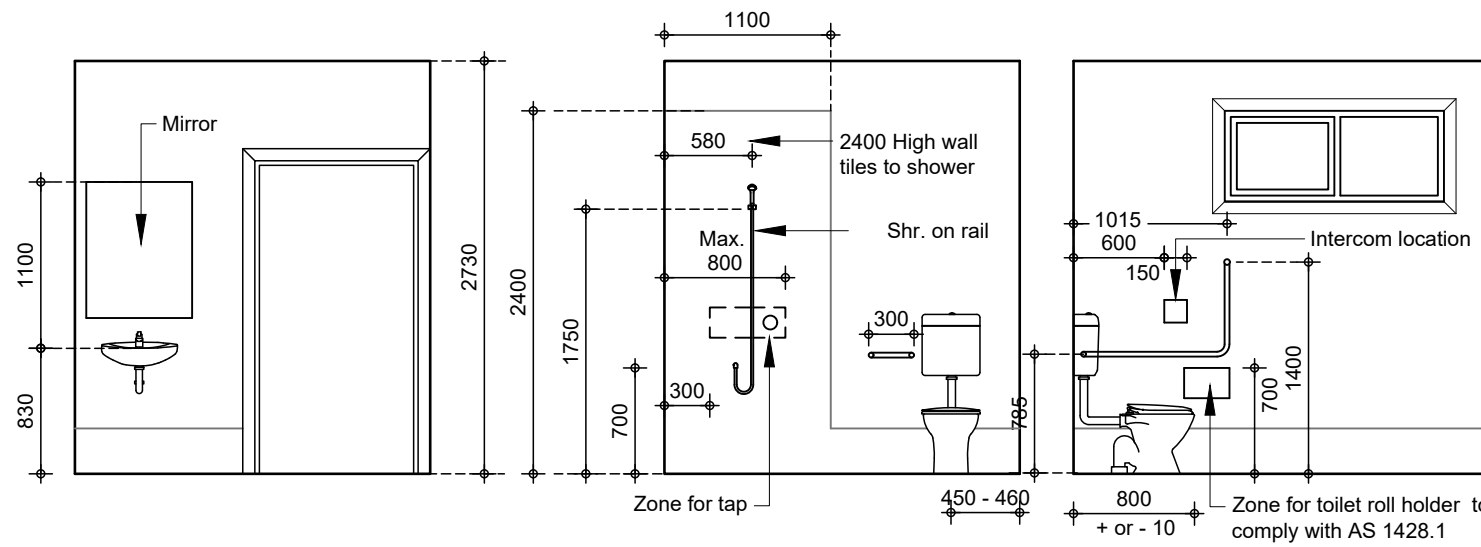
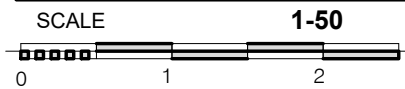
**GROUND FLOOR PLAN ENSUITE 1**



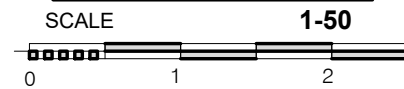
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 11	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



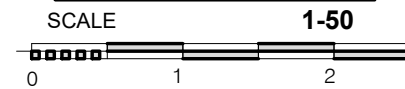
### GROUND FLOOR PLAN ENSUITE 3



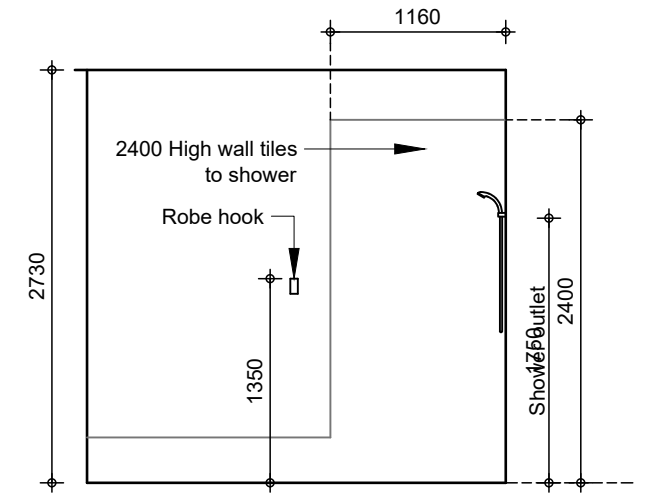
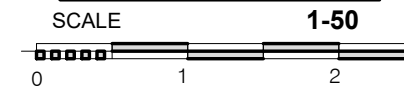
### ELEVATION A



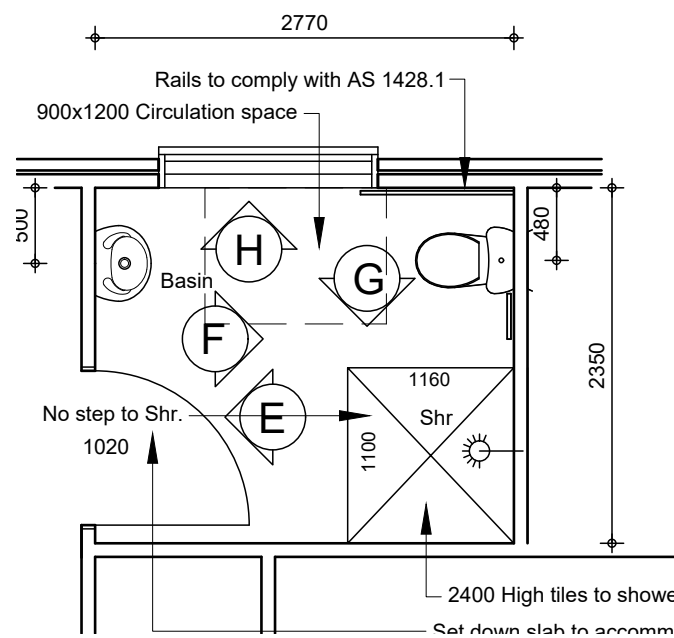
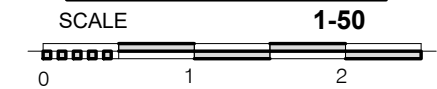
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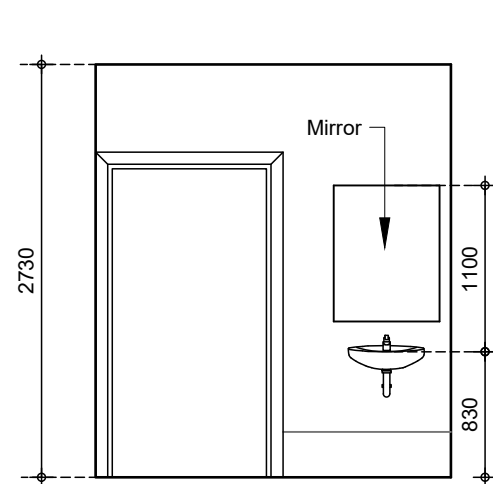
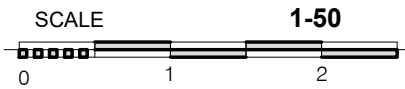
### ELEVATION C



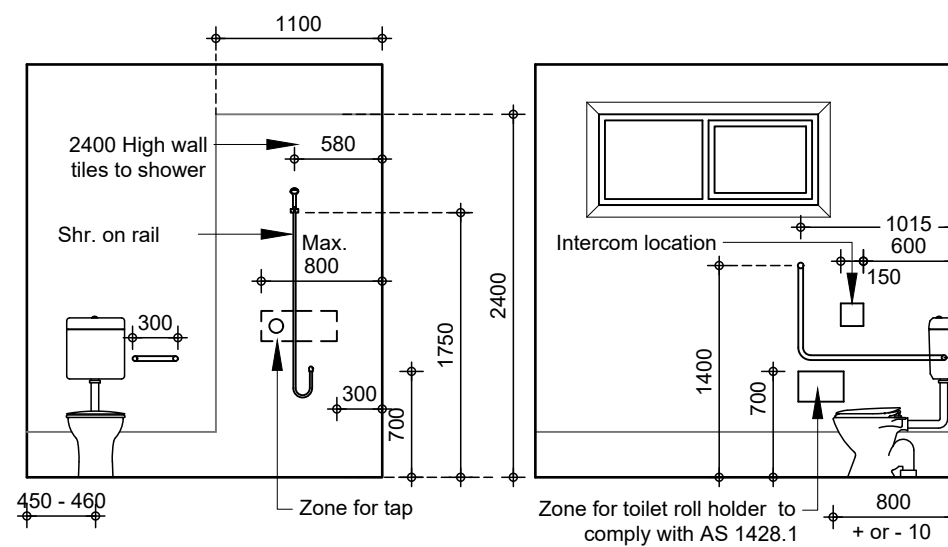
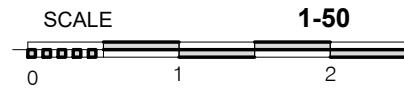
### ELEVATION D



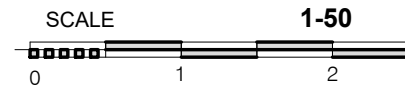
### GROUND FLOOR PLAN ENSUITE 2



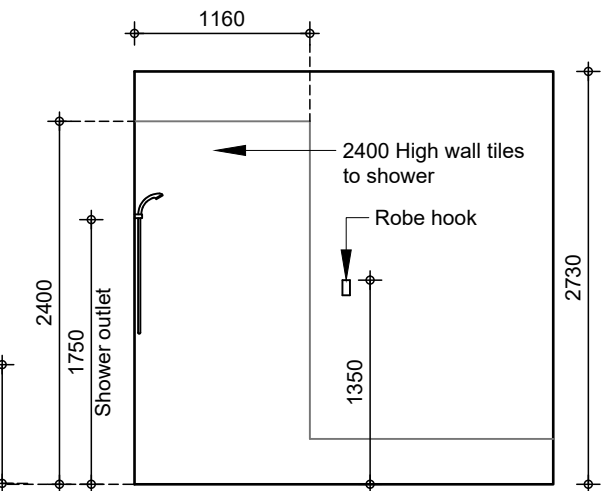
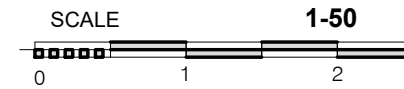
### ELEVATION E



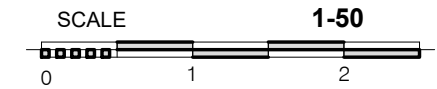
### ELEVATION F



### ELEVATION H



### ELEVATION G



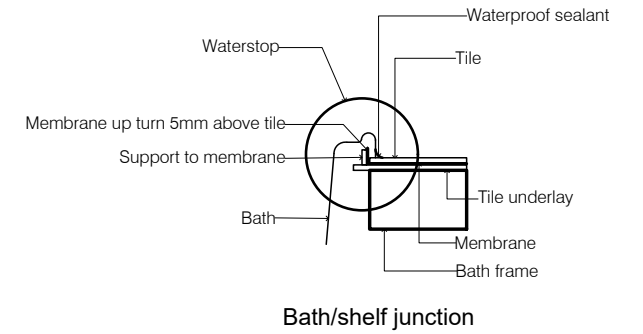
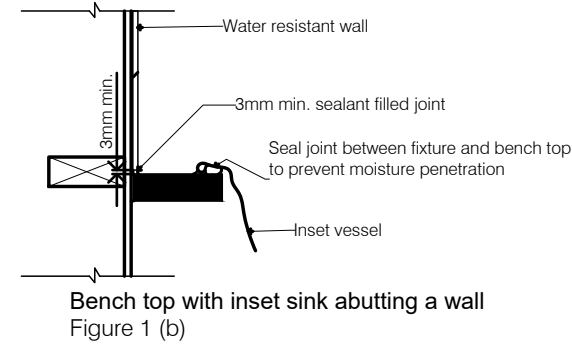
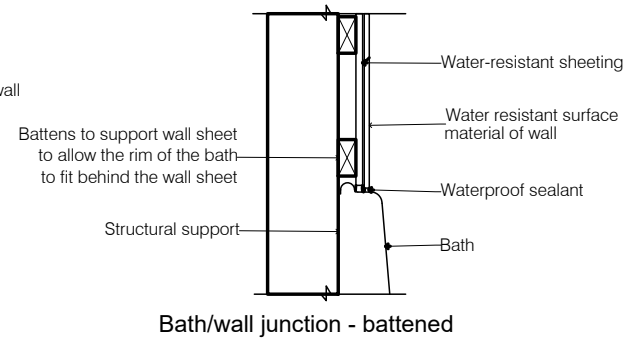
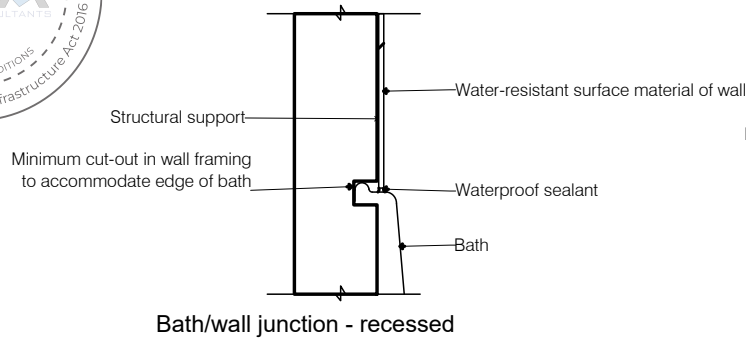
**NOTE:**  
All internal walls of ensuites shall be reinforced with 12mm thick ply wood from floor level to ceiling



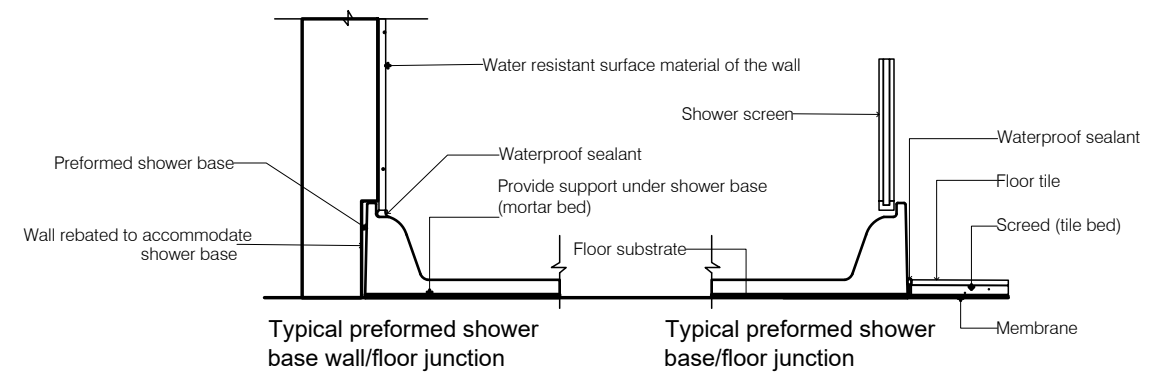
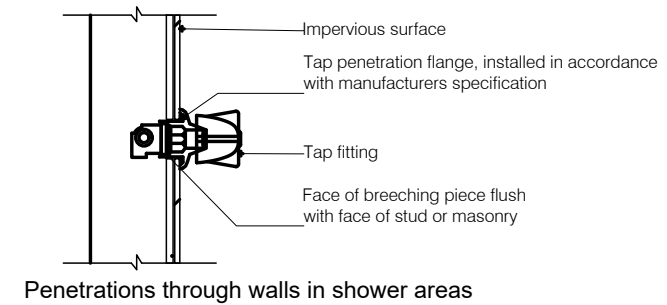
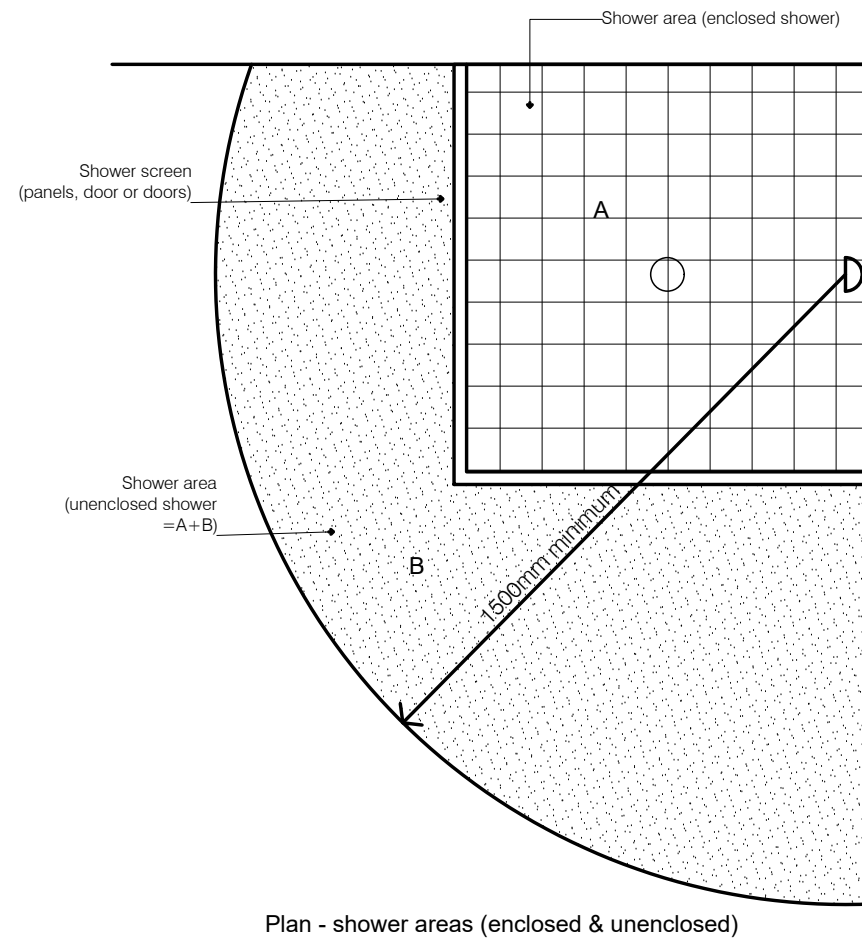
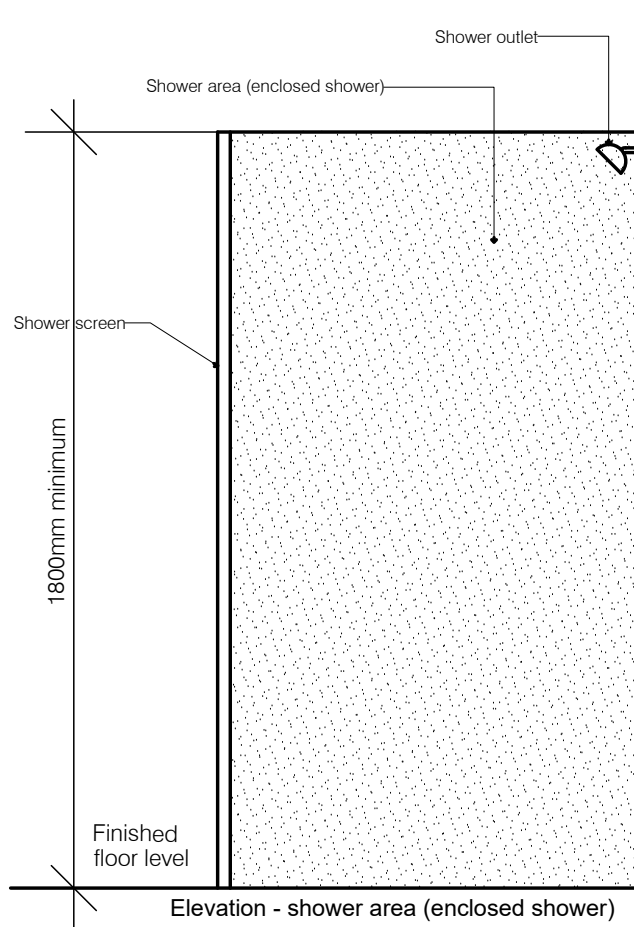
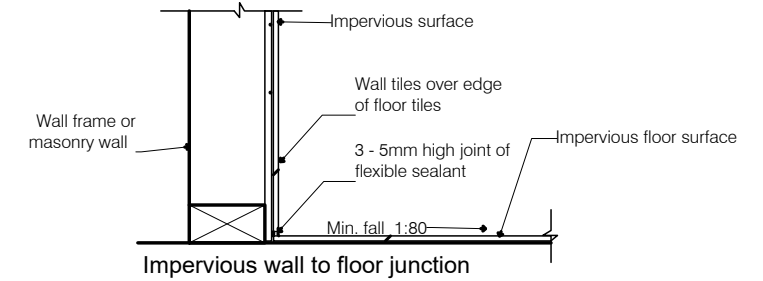
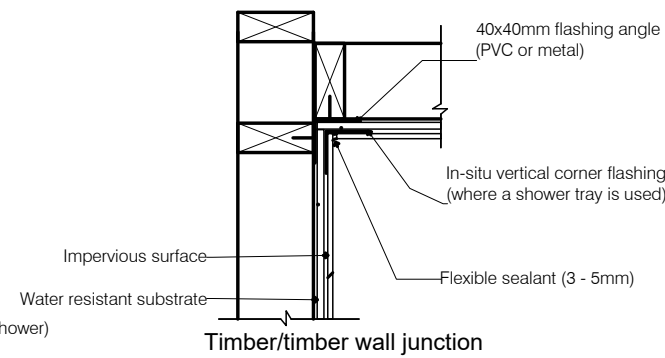
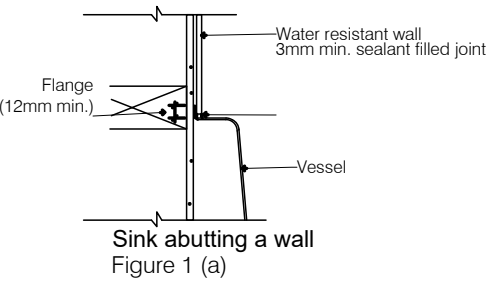
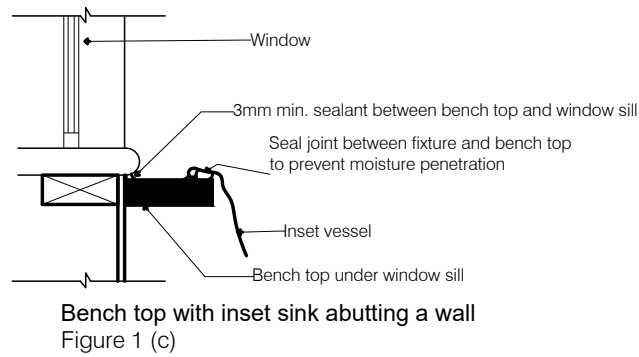
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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 12	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



Wet areas shall comply with AS 3740 or Part 10.2 of the ABCB Housing Provisions and are protected in accordance with the appropriate requirements of 10.2.1 to 10.2.6 and 10.2.12 of the ABCB Housing Provisions.



Note: Bottom end of vertical flashing or corner flashing must finish on inside of waterproof membrane (which must comply with AS/NZS 4858) or shower base.



**North Eastern Designers Pty. Ltd**  
5A MEREDITH ST BROADVIEW  
82693652 0412583652 FX 82693652

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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 13	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



## GENERAL NOTES

BUILDING WORK CONSTRUCTED IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE & 6 STAR ENERGY REQUIREMENTS.

WC DOORS TO HAVE LIFT OFF HINGES IN ACCORDANCE WITH NCC SECTION 3.8.3.3

WEATHER SEALS TO EXTERNAL DOORS

EXHAUST FANS & ORANGE HOOD TO CONTAIN DAMPER SEALS.

DOWN LIGHTS TO BE SEALED & CONTAIN HEAT COVERS  
HARD WIRED SMOKE ALARM WITH 9V BATTERY BACKUP  
SMOKE DETECTORS TO BE INTERCONNECTED AS PER NCC  
GLAZING ASSEMBLIES IN ACCORDANCE WITH AS1288- 2006 & AS2047 -2014

GUTTERS & DOWN PIPES IN ACCORDANCE WITH NCC VOL2 PART 3.5.2 & OVERFLOWS TO TABLE 3.5.2.4

## DIMENSIONS

FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS & LEVELS BEFORE COMMENCEMENT. ANY DISCREPANCY TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

## TERMITE PROTECTION

IN ACCORDANCE WITH AS3660.1 2014

PERIMETER: VISUAL BARRIER EDGE EXPOSURE 75 MM FROM DAMP PROOF COURSE TO TOP OF PAVING

## WET AREA CONSTRUCTION

EXCEPT WALLS CONSTRUCTED OF MASONRY OR CONCRETE, THE SANITARY WALLS TO HAVE REINFORCEMENT OF INTERNAL SHEET LINING 12MM MINIMUM THICK FROM FFL TO 2100MM HEIGHT FOR WC PAN SHOWER, BASIN & BATH INCLUDING GRAB RAILS

## ACCESS CONSTRUCTION TO AS1428.1

LAYOUT AND FIXTURES IN ACCORDANCE WITH AS1428.1 - 2010 INCLUDING

1. PROVIDE CLOTHES HANGING DEVICE GREATER THAN 600MM FROM INTERNAL CORNER
2. FREE ACCESS SPACE UNDER HAND BASIN TO AS1428.1 FIG43
3. INSTALL PAN BACKREST TO CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE OF 1100N IN ALL DIRECTIONS
4. WC SEAT HEIGHT BETWEEN 450MM & 460MM ABOVE FFL
5. PROVIDE PRIVACY LATCH WITH SNIB HANDLE MINIMUM 45MM FROM SPINDLE CENTRE
6. PROVIDE BRAILLE & TACTILE SIGNAGE TO COMPLY WITH BCA-D3.6 BY OWNER
7. ENSUITES TO HAVE FULL TILE SKIRT & 2400MM HEIGHT TO SHOWER.
8. FLOORING & TILING TO BE R10 COMPLIANT & SLIP RESISTANT FLOOR TO EXTEND UNDER KITCHEN AND LAUNDRY JOINERY..

## PLUMBING CONSTRUCTION TO ASNZ3500

LEVER STYLE HARDWARE TO BASINS SHOWER, SINK, BATH, LAUNDRY TUB

## HOIST PROVISION

BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED. FOR FINAL-AS-BUILT STAGE OF SDA CERTIFICATION, THE STRUCTURE SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER AS BEING SUITABLE FOR CEILING HOISTS WITH MINIMUM LOAD CAPACITY OF 250KG

## INSULATION AND SARKING

CEILING THERMAL/SOUND INSULATION LAID OVER CEILING LINING (R VALUE TO BE CONFIRMED)

INTERNAL WALLS BRADFORD SOUNDSCREEN PLS (OR EQUAL APPROVED) FOR WALLS (R VALUE TO BE CONFIRMED)

EXTERNAL WALLS ACOUSTIC BATT IN W/FRAME CAVITY (OR EQUAL APPROVED) (R) VALUE TO BE CONFIRMED)

## ENTRANCE, DOORS AND WINDOWS

**LANDING** – PROVIDE A LEVEL LANDING AREA OF AT LEAST 1500 X 1500 WITH A MAXIMUM 1:40 GRADIENT CROSS FALL AT THE LEVEL STEP FREE EXTERNAL ENTRY DOORWAY (ON THE ARRIVAL SIDE) NOTE DOORWAY THRESHOLD RAMPED 35MM OVER 280 MM. ENTIRE DOORWAY SHALL BE IN FRONT OF THE LANDING AREA. A COVERED ROOF SHALL BE PROVIDED OVER THE ENTIRE REQUIRED LANDING AREA OUTSIDE THE MAIN EXTERNAL ENTRY DOORWAY.

### WINDOWS AND DOORS

**GENERALLY** TIMBER DOORS WHERE PROVIDED SHALL BE SOLID CORE DOORS. . PROVIDE LOCKABLE WINDOWS. WINDOW CONTROLS LOCATED 600 TO 1100 AFL.

**THRESHOLD** A STEP FREE DOORWAY SHALL BE PROVIDED TO AN EXTERNAL DOORWAY. WHERE SUCH THRESHOLD EXCEEDS 5MM AND IS LESS THAN 35MM A DOORWAY THRESHOLD RAMP IN ACCORDANCE WITH AS1428.1 WITH A MAXIMUM 1:8 GRADE SHALL BE PROVIDED.

### GLAZING

–GENERALLY SOLID (NON TRANSLUCENT) CONTRASTING GLAZING STRIP OF 75MM WIDTH AND BETWEEN 900 TO 1000MM

**DOOR HARDWARE** HARDWARE INSTALLED AT BETWEEN 900MM AND 1100MM FROM FFL

### FLOOR FINISHES

SLIP RESISTANCE OF ALL INTERNAL FLOORS SHALL BE MINIMUM OF P3 OR R10.

## MECHANICAL INSTALLATIONS

**AIR CONDITIONING** – PROVIDE REVERSE CYCLE AIR-CONDITIONING TO LIVING AREAS AND BEDROOMS WITH CONTROL PANELS IN AN ACCESSIBLE LOCATION BETWEEN 900MM AND 1100MM FROM FFL AND NOT CLOSER THAN 500MM TO ANY INTERNAL CORNER. WHERE DUCTED AC USED ZONING OF HABITABLE ROOMS SHALL BE PROVIDED.

## JOINERY

### CABINET HARDWARE

TYPES OF APPROPRIATE MECHANISMS FOR OPERATION OF KITCHEN CABINETRY SHALL BE ONE OR MORE OF THE OPTIONS AS NOTED BELOW:

- D PULL CUPBOARD HANDLES LOCATED TOWARDS THE TOP OF BELOW BENCH CUPBOARDS;
- D PULL CUPBOARD HANDLES LOCATED TOWARDS THE BOTTOM OF OVERHEAD CUPBOARDS;
- OVERHANGING LIP OF MINIMUM 20MM FOR OVERHEAD CUPBOARDS;
- PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND BELOW BENCH CUPBOARDS.

**STORAGE CABINET:** PROVIDE A 600 MM WIDE STORAGE CABINET WITH ADJUSTABLE SHELVES.

**ADJUSTABLE BENCH TOP:** PROVIDE HEIGHT ADJUSTABLE BENCH TOP. HEIGHT ADJUSTMENT TO BE FROM 720 MM TO 1020 MM CLEAR SPACE UNDERNEATH HEIGHT ADJUSTABLE BENCH TOP AND 900 MM CLEAR WIDTH WITH KNEE TOE CLEARANCES AS PER AS 1428.1 (AS REQUIRED BY HAND AND WASH BASINS).

### NDIS KITCHEN CONSTRUCTION

1. WHERE AN APPLIANCE SUCH AS A FRIDGE IS NOT PROVIDED, ALLOW FOR A MINIMUM 700MM DEPTH.
2. PROVIDE WALL OVEN WITH SIDE HINGE DOOR.
3. LOCATE ACCESSIBLE BENCH TOP NEXT TO WALL OVEN AND NEXT TO COOK TOP WITH 900MM CLEAR WIDTH UNDER THE BENCH TOP WITH KNEE / TOE CLEARANCES AS PER AS1428.1
4. COOK TOP CONTROLS ON SIDE OF ACCESSIBLE BENCH TOP OR AT FRONT EDGE OF THE BENCH TOP.
5. COOK TOP SHALL BE EITHER ELECTRIC OR INDUCTION AND SHALL BE LOCATED A MINIMUM OF 300MM FROM ANY INTERNAL CORNER.
6. OPERABLE PART OF LEVER TAP HANDLE AND WATER SOURCE SHALL BE WITHIN 300MM FROM EDGE OF BENCH TOP.
7. DRAWER STYLE DISHWASHER.
8. DOUBLE GPO SHALL BE WITHIN 300MM FROM THE EDGE OF THE BENCH TOP AND MAXIMUM HEIGHT OF 1100MM FROM FFL.
9. PANTRY WITH EXTENDABLE BASKET SHELVES OR FULL PULLOUT STYLE PANTRY MINIMUM 300 MM WIDE REFER TO JOINERY PAGE.

## ELECTRICAL INSTALLATIONS

**GENERALLY** TASK LIGHTING SHALL BE PROVIDED ABOVE WORKSPACES. A MINIMUM LEVEL OF 300 LUX SHALL BE ACHIEVED WHEN TESTED AT MAXIMUM INTERVALS OF 1500MM, DIRECTLY OVER THE SURFACE OF THE BENCH TOPS. RECESSED LIGHT FIXTURES SHALL BE PROVIDED.

**LIGHT SWITCHES** POSITION SWITCHES IN A CONSISTENT LOCATION BETWEEN 900 MM AND 1100 MM FROM FFL AND HORIZONTALLY ALIGNED WITH WITH DOOR HANDLE AT ENTRANCE TO ROOM DIMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS

**GPOs** FOR (FA) AND (HPS) INSTALL GPO'S BETWEEN 600MM AND 1100MM FROM FFL

**SWITCH TYPES** LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH 35 MM

## PAVING

**PAVING** PROVIDE A SAFE, CONTINUOUS STEP FREE PATHWAY FROM THE FRONT BOUNDARY OF THE PROPERTY OR A CAR PARK SPACE TO AN ENTRY DOOR TO THE DWELLING. THE THE PATH OF TRAVEL REFERRED TO IN (a) SHOULD HAVE A MINIMUM CLEAR WIDTH OF 1200 MM

- i. NO STEPS;
- ii. AN EVEN, FIRM SLIP RESISTANT SURFACE;
- iii. A CROSS FALL OF NOT MORE THAN 1:40;
- iv. GENERALLY A MAXIMUM PATHWAY SLOPE OF 1:20 IS PERMITTED HOWEVER WHERE THE LEVEL DIFFERENCE IS OVER 190 MM A MAXIMUM GRADE OF 1:14 IS PERMITTED.

WHERE RAMP SHARE REQUIRED THEY SHOULD HAVE LANDINGS PROVIDED AT NO GREATER THAN 9 M FOR A 1:14 RAMP AND NO GREATER THAN 15M FOR RAMPS STEEPER THAN 1:20. LANDINGS SHOULD BE NO LESS THAN 1200 MM IN LENGTH. A STEP RAMP MAY BE INCORPORATED AT AN ENTRANCE DOORWAY WHERE THERE IS A CHANGE IN HEIGHT OF 190 MM OR LESS. THE STEP RAMP SHOULD PROVIDE:

- i. A MAXIMUM GRADIENT OF 1:10
- ii. A MINIMUM CLEAR WIDTH OF 1200 MM (NOTE: WIDTH SHOULD REFLECT THE PATHWAY WIDTH).
- iii. A MAXIMUM LENGTH OF 1900 MM

WHERE A RAMP IS PART OF THE PATHWAY, LEVEL LANDINGS NO LESS THAN 1200 MM IN LENGTH, EXCLUSIVE OF THE SWING OF THE DOOR OR GATE THAT OPENS ONTO THEM, MUST BE PROVIDED AT THE HEAD AND FOOT OF THE RAMP.

**CAR PARK** FOR PARTICIPANTS (EXCLUDES STAFF) MINIMUM DIMENSIONS OF AT LEAST 3800 MM (WIDTH) X 5400 MM (LENGTH) PROVIDE EVEN, FIRM AND SLIP RESISTANT SURFACE OF P4 OR R11 WITH MAX 1:40 CROSS FALL IN ANY DIRECTION. NOTE ROOF OVER REQUIRED FOR (FA) AND (HPS) WITH VERTICAL CLEARANCE TO AS2890.6

**COMMON USE EXTERNAL AREAS, PRIVATE OPEN SPACE AND LANDSCAPING EXTERNAL STAIRWAYS** COMPLY WITH 1428.1

**RAMPS AND ACCESS WAY, ALL RAMPS AND ACCESS WAY PROVIDED TO ALL EXTERNAL COMMON AND PRIVATE USE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF RAMPS AND ACCESS WAY FOR THE RELEVANT SDA CATEGORY**

## FIRE SAFETY

Evacuation plan Provide emergency evacuation plan to occupier or their supports  
SMOKE ALARMS: PROVIDED IN BEDROOMS & LIVING SPACES

## ASSISTIVE TECHNOLOGY

PROVIDE HIGH SPEED WIFI INTERNET CONNECTION

PROVIDE A COMMUNICATION SYSTEM BETWEEN PARTICIPANTS & THEIR SUPPORT











High Physical Support










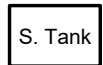



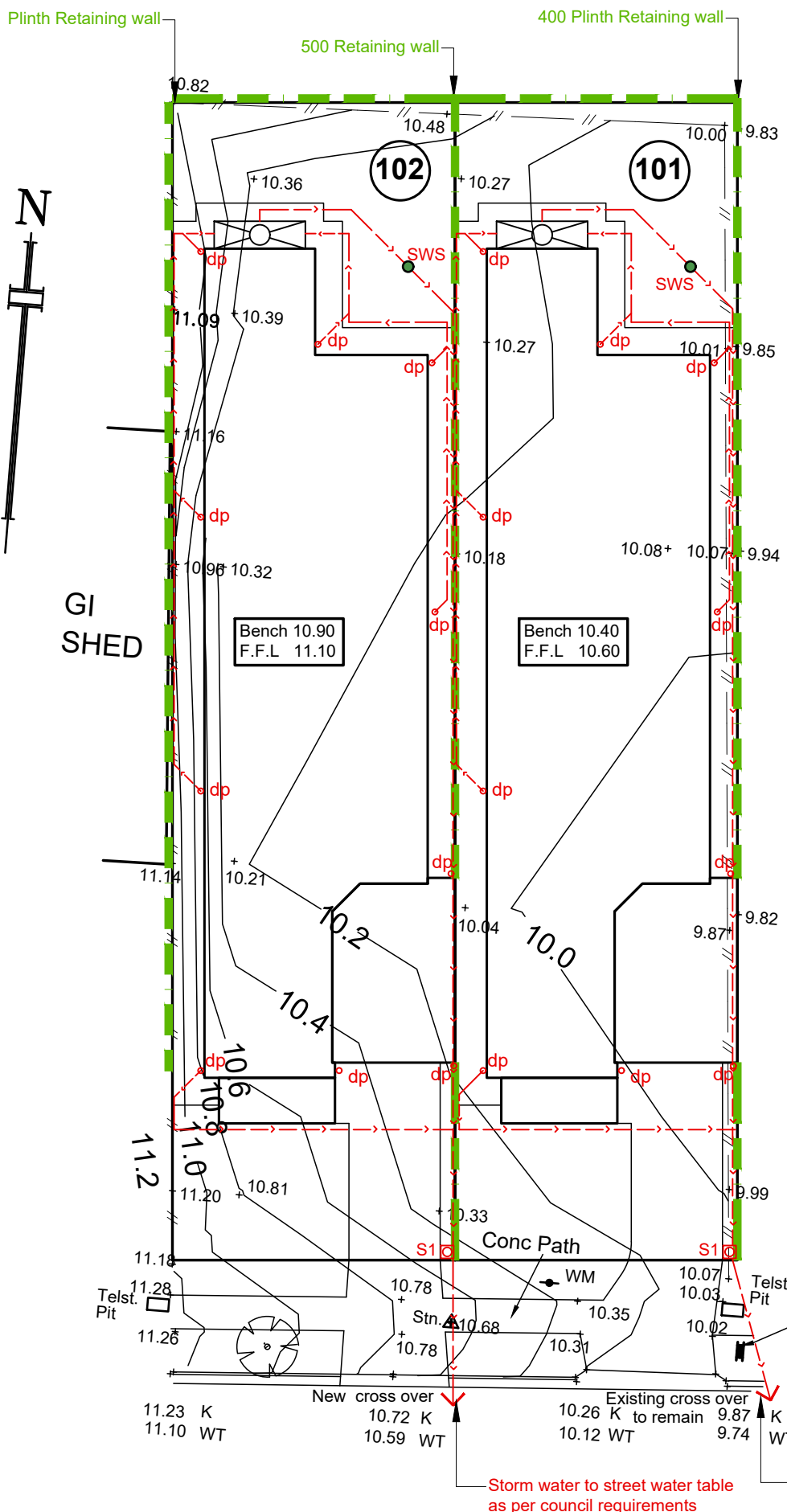
**North Eastern Designers Pty. Ltd**  
5A MEREDITH ST BROADVIEW  
82693652 0412583652 FX 82693652

<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
	<b>PROJECT No.</b> 190820231	<b>SHEET</b> 14	<b>SITE ADDRESS</b> Lot 101/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details

## LEGEND

-  **SHRUBS TO 3.0**  
 Amelia grandiflora  
 Viburnum Burkwoodii  
 Euonymus Japonica
-  **MEDIUM SHRUBS TO 1.5**  
 Correa pulcheli  
 Cassia artemisioides  
 Correa Alba
-  **SMALL SHRUBS TO 1.0**  
 Berberis Thunbergil  
 Rosemary Cuphea  
 Ignea
-  **TREE**  
 Acer Palmatum (Japanese Maple)
-  1800 Double sided good neighbour colorbond fence
-  Paved drive
-  Lawn
-  **GROUND COVER**  
 BCarpobrotus rossii  
 pa Scopia Great Pink  
 Mesembryanthemum ( Pig face)

-  S1 300 Cube concrete wet sump with galvanised grate top (S1)
-  S2 Everhard Series 600 Storm water Pit complete with a Class A galvanised metal grate or similar
-  °dp Down pipe
-  90 Diam. Grated surface storm water sump (SWS)
-  90 Diam. Storm water drain  
 Note: Sealed drain to Rain water tank
-  100 Diam. Storm water drain
-  Retaining wall
-  150 Storm water grate
-  100mm concrete plinth
-  S. Tank Septic Tank (As per engineer's design)
-  3,000 Ltr. rain water tank



## NOTE:

- All storm water pipes shall be laid as per AS 3500 to achieve minimum cover & grade (0.5%Min.) U.N.O. if cover can not be achieved encase pipe in 100 thick concrete.
- Where sumps/grates or the like are cast into a concrete slab provide 2-N12 crack control bars at the corners of such cast-in items. Bars are to be 1000 long & tied to the top layer of slab reinforcement.
- Bedding & back filling around storm water pipes shall conform to AS 3725-1989
- Bedding sand for storm water pipes shall be coarse, free flowing pit sand, with a plasticity index less than 5.0. The material shall be clean with 100% passing the 6.7mm sieve and not greater than 10% passing a 0.075 sieve. It shall have a minimum compacted depth of 75mm.
- Provide lagging to all pipe penetrations through footing beams.  
 Up to H1 class site: 20mm thick lagging  
 H2-E class site: 40mm thick lagging
- Install 3,000 Ltr (Retention 2,000 & 1,000 Ltr. Detention) rain water tank in accordance with the BCA & NCC (Collecting a minimum of 60% of roof area) & ensure the tank water is A. Plumbed to at least a water closet & water heater or all laundry cold water outlets.  
 B. The inlet and overflow of the tank must be fitted with mosquito proof non degradable screen formed from 0.315 Ø material and have a minimum of 6x7 opening sq.cm.

15 EMERALD ROAD

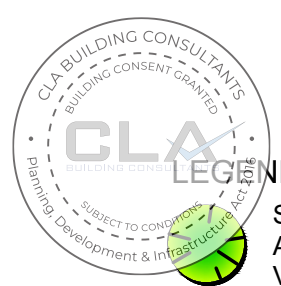
## CIVIL PLAN

Scale 1:200



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<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 15	<b>SITE ADDRESS</b> Lot 102 & 101 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Civil Plan	

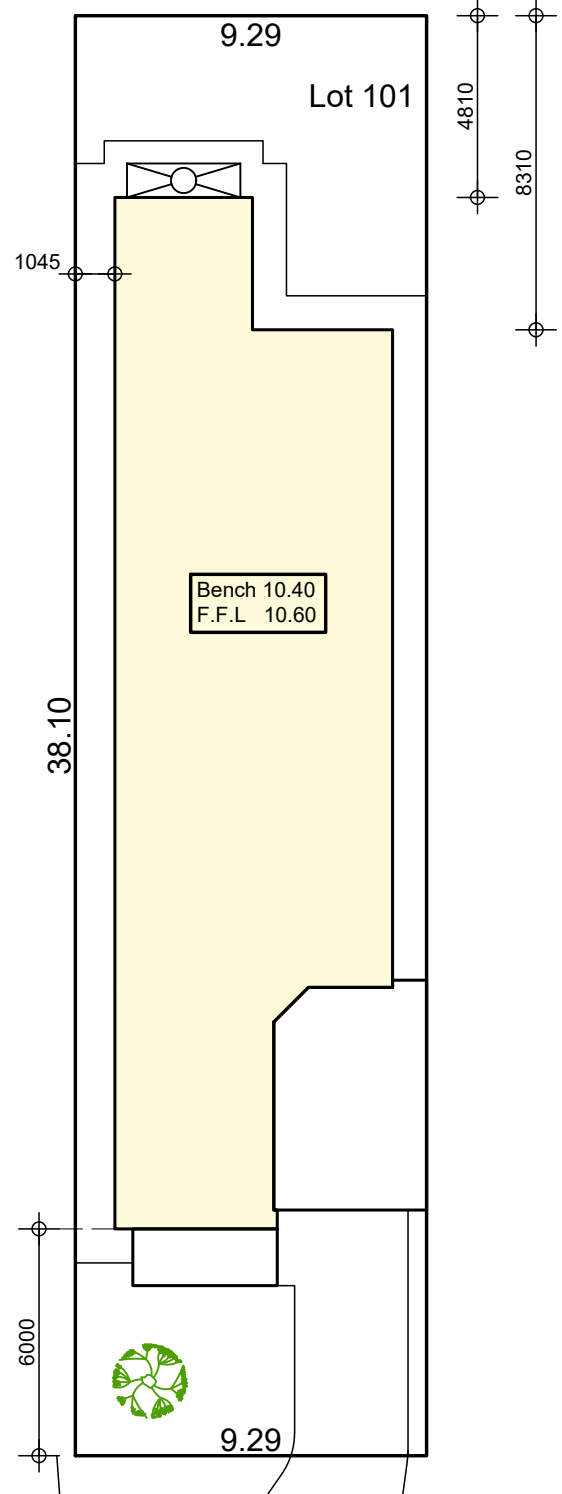


LEGEND

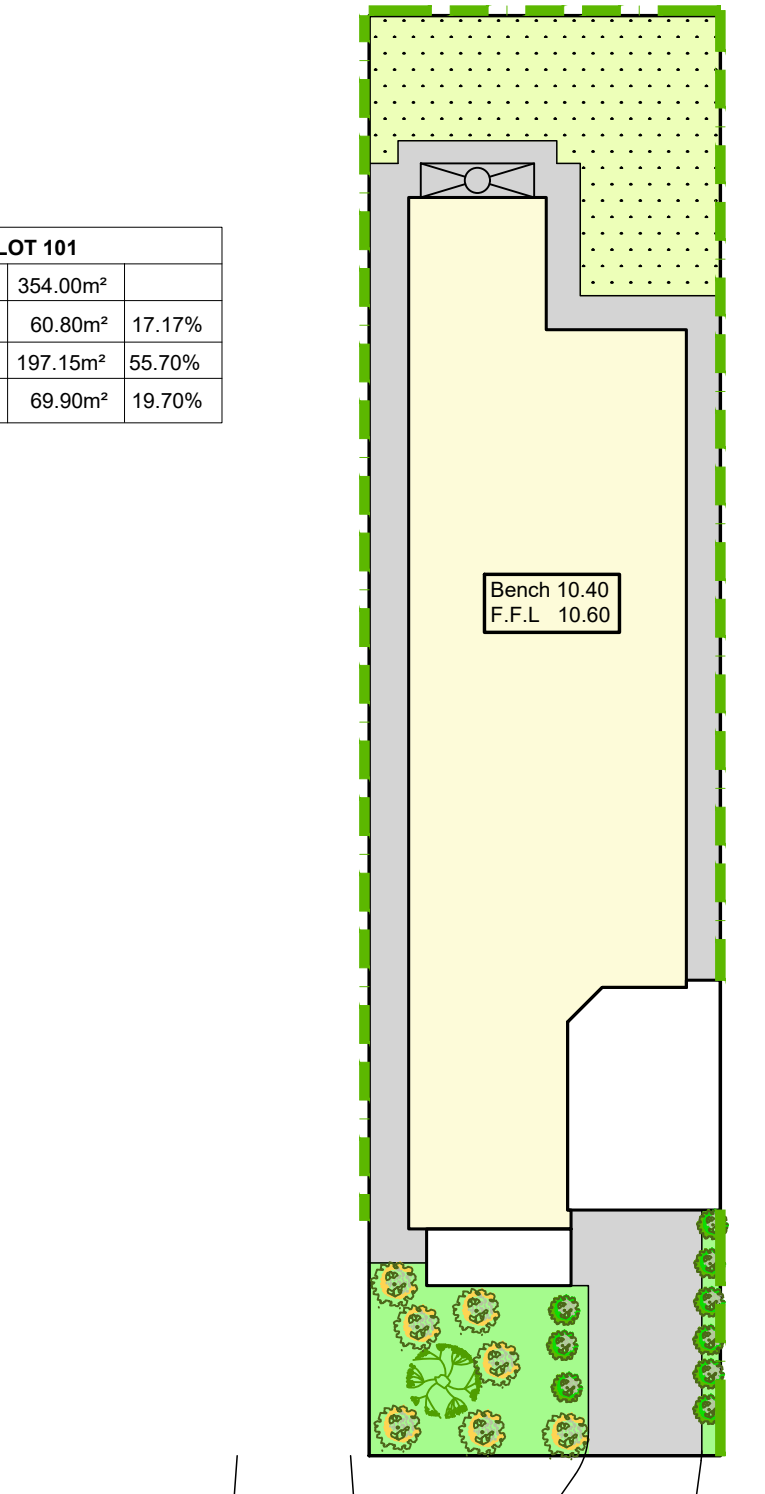
- SHRUBS TO 3.0  
Amelia grandiflora  
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- SMALL SHRUBS TO 1.0  
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- 100 Diam. Storm water drain
- Retaining wall
- 150 Storm water grate
- 100mm concrete plinth
- S. Tank Septic Tank (As per engineer's design)
- 3,000 Ltr. rain water tank



Areas LOT 101		
Site	354.00m <sup>2</sup>	
Private open space	60.80m <sup>2</sup>	17.17%
Area Built on	197.15m <sup>2</sup>	55.70%
Area Soft landscaping	69.90m <sup>2</sup>	19.70%



15 EMERALD ROAD

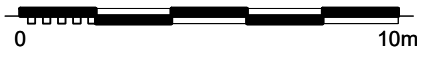
TBM RL 10.00m BOTT BOLT STOBIE NORTH SIDE ASSUMED DATUM

15 EMERALD ROAD

TBM RL 10.00m BOTT BOLT STOBIE NORTH SIDE ASSUMED DATUM

**SITE PLAN**

Scale 1:200



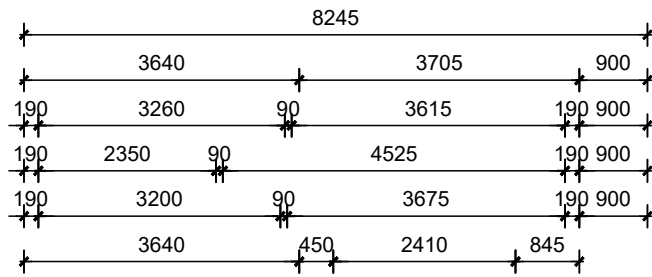
**LANDSCAPE PLAN**

Scale 1:200



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<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 16	<b>SITE ADDRESS</b> Lot 101 / 15 Emerald Rd, Morphett Vale		<b>DRAWING TITLE</b> Site Plan



**NOTE**

- PROVIDE R4.5 MIN. CEILING INSULATION
- R2.5 WALL INSULATION TO ALL EXT. WALLS INCLUDING INTERNAL GARAGE WALL
- DOOR SEALS TO ALL EXTERNAL DOORS
- WINDOW SEALS
- INSULATION TO ALL H.W.S. PIPES
- INSULATION TO ALL AIR CONDITIONING DUCTS

**GENERAL BUILDING NOTES:**

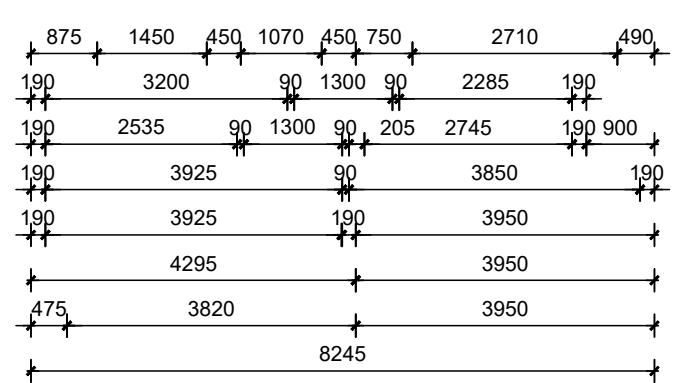
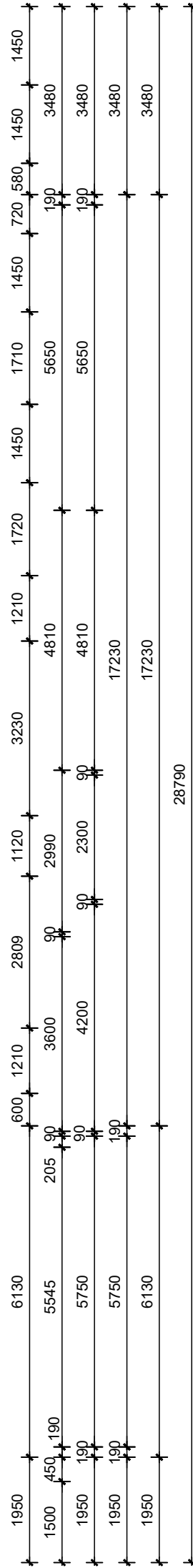
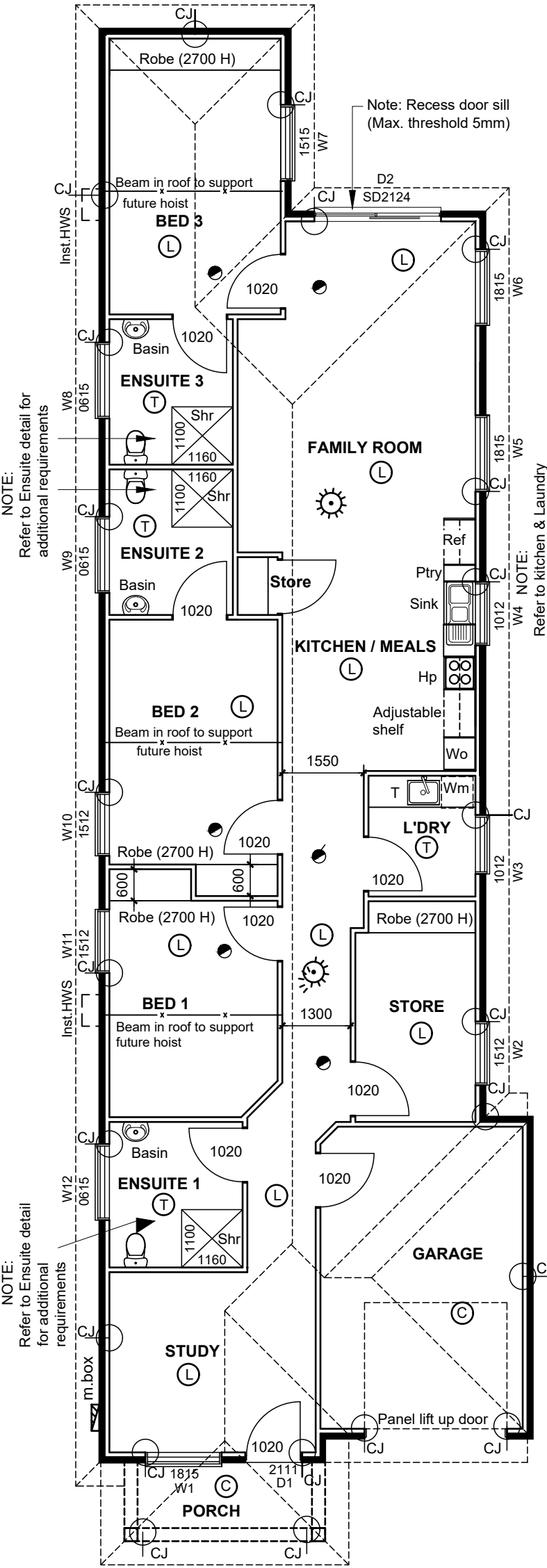
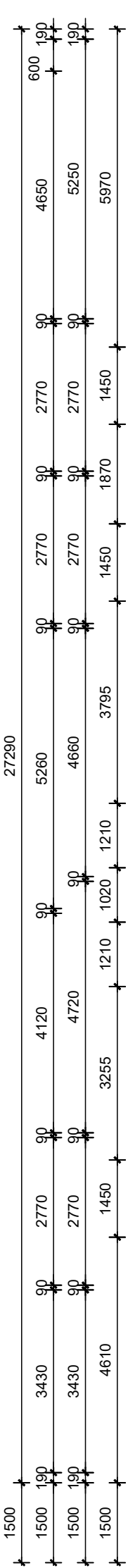
- Proposed Structure to be built as per Residential timber framing code **AS 1684.2 - 2010**
- All exposed timber members and fixings are to be adequately treated with preservative accordance with **AS1604**
- Construction in accordance with National Construction Code
- Gangnail roof trusses to manufacturers installation specifications **AS4440 - 2004**
- The minimum clearance between the WC door hinge & pan is 1200mm refer National Construction Code Part 3.8.3.3. If this cannot be achieved install either door swinging outwards, a sliding door or provide a 'Dalco 13301' (or similar) escape hinge set, fixed as specified by manufacturer
- White ant treatment under floor to **AS 3660.1 - 2000** Termi mesh to all penetrations & pipe Min. 75mm slab edge between DPC & paving for visual inspection Installer to provide certificate in accordance with **AS3660.1-2000** stating method of application and certificate of completion.
- NOTE:- Roof bracing & Tie down details to Roof & Walls as required by **AS 1684.2 - 2010** -Residential timber - framed construction
- Window & Door frame Glazing to comply with **AS1288 - 2006**
- All glazing is to be supplied and installed in accordance with **AS 1288.1**
- Selection & installation to comply with **AS2047 - 1999, AS2688, & AS2689**
- NOTE:-Hot water supply system shall be designed & installed in accordance with **Section 6A of -AS/NZS 3500.4.2 or Clause 3.38 of AS/NZS 3500.5.**
- Weather seals to all external doors
- Exhaust fans & range hood to contain damper seals
- Down lights to be sealed & contain heat covers
- Brick veneer construction to **AS 3700 - 2011**
- 240 Cavity walls,500um DPC, Weep holes at 1200 max cts Wall ties 3mm diameter at 600 cts every 4th course to **AS 2699.1 - 2000** Control Joint details (C.J) as per Engineer
- **DOOR & WINDOW STRAPS**
- Unless provision is incorporated in the frames, fix all door & window frames in position with 32x.08 kinked galvanised steel straps secured to frames and set at least 300 into brickwork. Space straps at a max of 400 intervals
- **MORTAR MIX**
- Common mortar made from Portland cement one part cement to one part of lime and 6 parts of sand to comply with **AS3700**
- All electrical work carried out, to be in accordance with AS 3000.
- All steel work to comply with BCA-part 3.4.2.
- All wet area details to comply with **AS 3740**
- **NO** brush fence shall be constructed within 3000 of any building
- Note: All demolition and associated works shall be carried out in accordance with AS2601-2001

NOTE : Layout and fixtures to the toilet for people with disabilities will be in accordance with AS 1428.1-2010 including

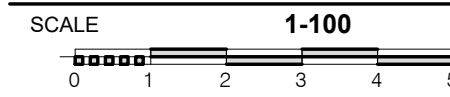
1. Provide a clothes hanging device (not within 600mm to an internal corner)
2. Provision of free access space under the hand basin in accordance with figure 43 of AS 1428.1-2010
3. A pan backrest is installed complying with AS 1428.1-2009 Clause 15.2.4 capable of withstanding a force in any direction of 1100N
4. Height of seat between 460mm & 480mm above FFL
5. Provision of privacy latch where a snib catch is used, snib handles shall have a minimum length of 45mm from centre of spindle
6. Provide a Braille and tactile signage provided to sanitary facilities to comply with BCA-D3.6 by owner after handover NOTES :
7. Provide separate plumbing for laundry & ensuite cold water taps ready for connection to rainwater outside Living (refer to site plan for detail). Connection prior to occupancy
8. Lever style hardware (as specified) to be installed at between 900-1100 AFL
9. Basins, sinks & tubs feature lever style tap hardware with a central spout
10. Ensuited to have full skirt tile throughout with 2400H wall tiles to all showers
11. 600mm minimum clearance forward of WC cisterns
12. Flooring & tiling throughout to be R10 compliant
13. Handle clearance for D-Pull style door hardware to comply with AS 1428.1 2009
14. WC centre line of pan between 450mm-460mm from nearest wall
15. Slip resistant floor finishes to extend under kitchen and laundry cabinetry
16. Automation to doors by owner
17. Maximum 5mm thresholds throughout
18. Window controls operational by 1 hand from either seated or standing position
19. NOTE: Allow a Min. clearance 110 hinge side space for hinged doors.

**LEGEND:**

- Self-contained ceiling mounted interconnected smoke detector/alarm, which complies with **AS 3786-2014** or as listed on SSL Register of accredited products & must be connected to consumer mains power with battery backup Refer floor plan for smoke alarm positions. Note: Connected to existing alarms
- ☀ Light to be activated by the smoke alarms
- C.J Control joints
- L Laminate floor
- T Tiled floor
- C Concrete floor



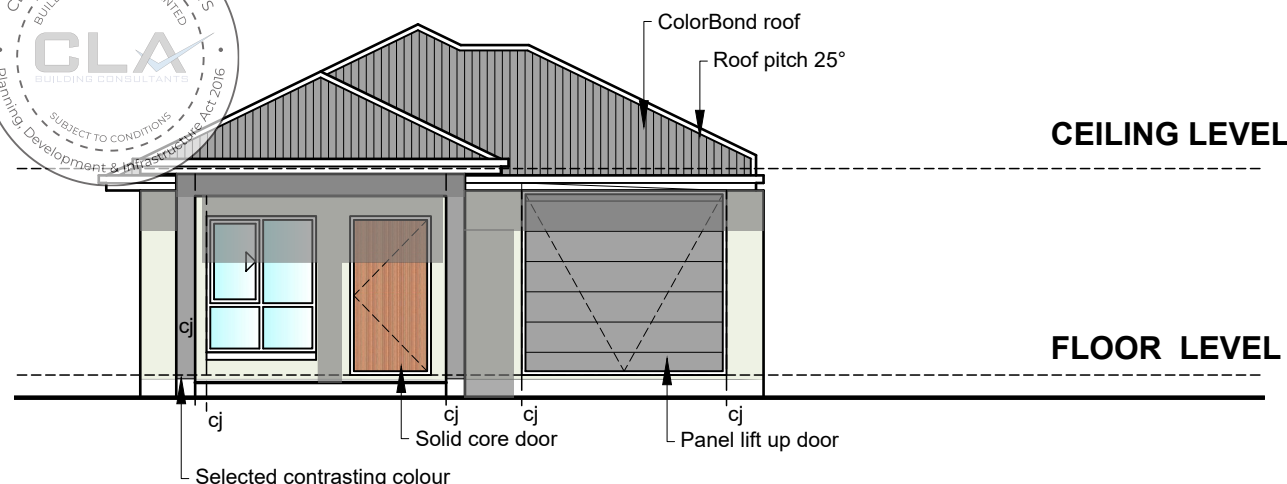
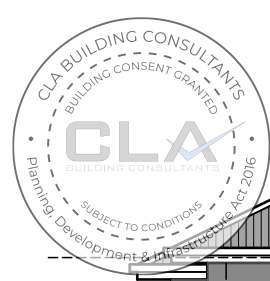
**GROUND FLOOR PLAN**



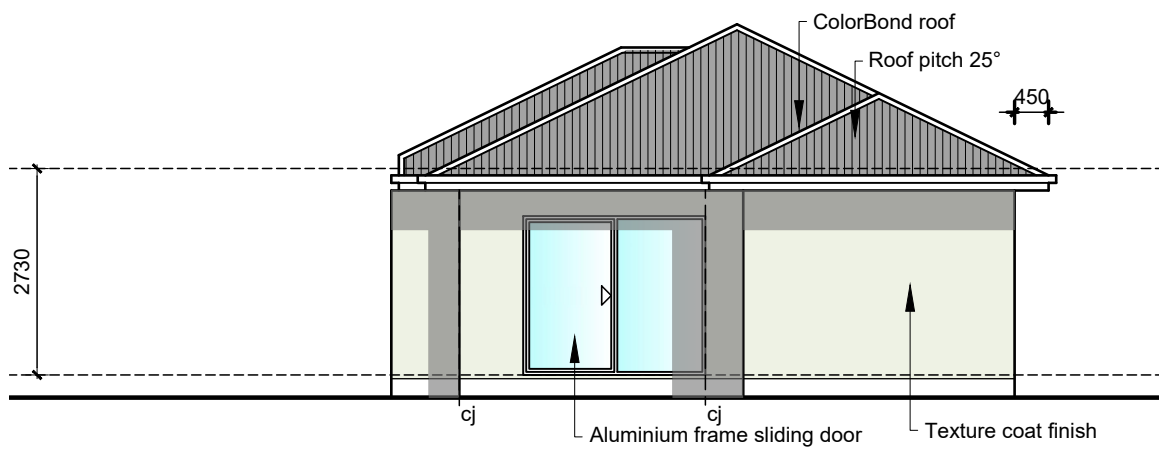
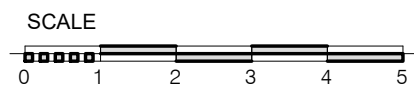
A R E A	
MAIN	167.58
GARAGE	24.11
PORCH	5.73
<b>TOTAL</b>	<b>197.42</b>

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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 1	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Plan	

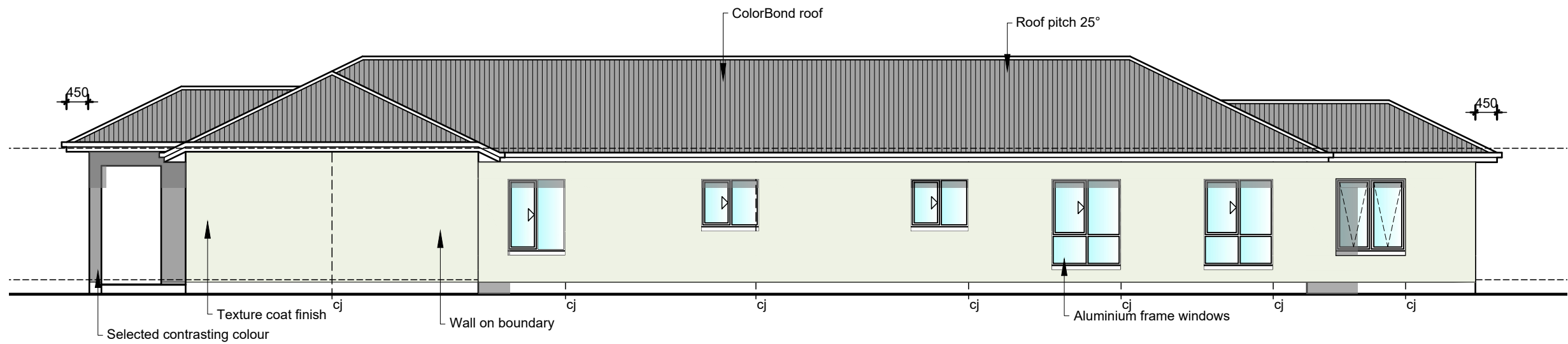
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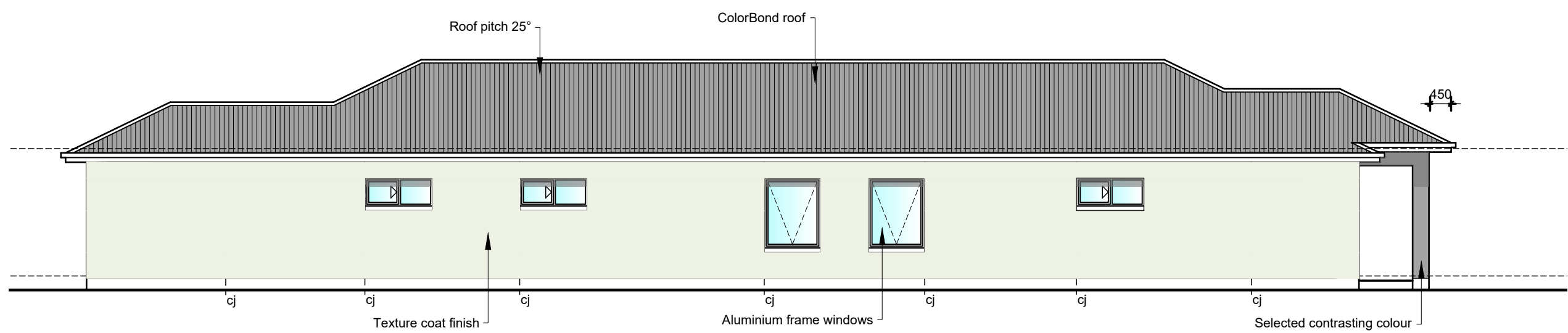
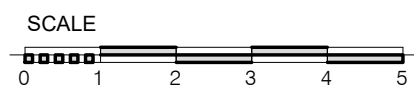
**EAST ELEVATION**



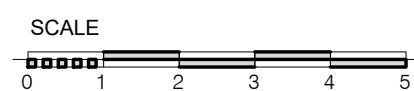
**WEST ELEVATION**



**NORTH ELEVATION**



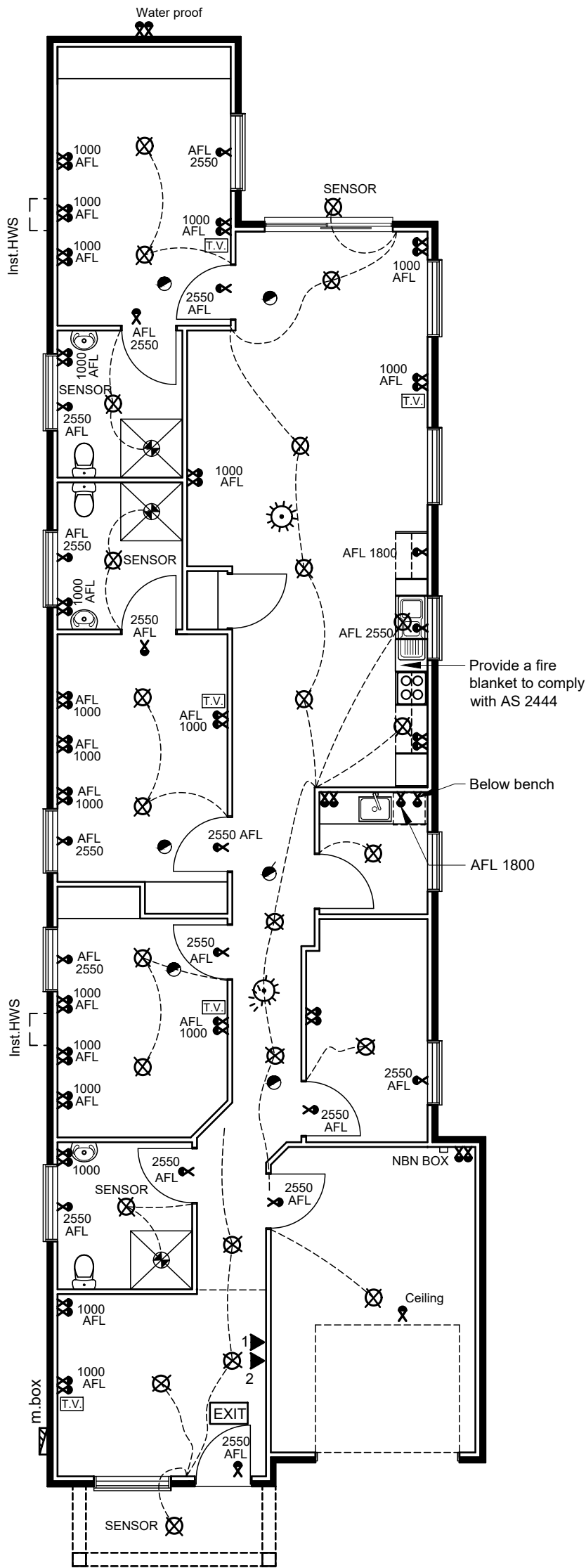
**SOUTH ELEVATION**



- The structure shall comply with
- ABCB Housing Provisions
- Part 3.2.1 Un-retained bulk earthworks - site cut and fill
- Part 3.3.2 Drainage requirements
- Part 3.3.3 Surface water drainage
- Part 3.3.4 Subsoil drainage
- Part 3.3.5 Storm water drainage
- Part 3.4.1 Requirements for termite management system
- Part 3.4.2 Termite management system
- Part 3.4.3 Durable notice
- Part 4.2 Footings, slabs and associated elements
- Part 5.2 Masonry veneer
- Part 5.3 Cavity masonry
- Part 5.4 Unreinforced single leaf masonry
- Part 5.5 Isolated piers
- Part 5.6 Masonry components and accessories
- Part 5.7 Weatherproofing of masonry
- Part 6.2 Subfloor ventilation
- Part 6.3 Structural steel members
- Part 7.2 Sheet roofing
- Part 7.3 Roof tiles and shingles
- Part 7.4 Gutters and down pipes
- Part 7.5 Timber and composite wall cladding
- Part 8.2 Windows and external glazed doors
- Part 8.3 Glass
- Part 8.4 Glazing human impact
- Part 9.2 Fire separation of external walls
- Part 9.3 Fire protection of separating walls and floors
- Part 9.4 Fire protection of garage top dwellings
- Part 9.5 Smoke alarms and evacuation lighting
- Part 10.2 Wet area waterproofing
- Part 10.3 Room heights
- Part 10.4 Facilities
- Part 10.5 Light
- Part 10.6 Ventilation
- Part 10.7 Sound insulation
- Part 10.8 Condensation management
- Part 11.2 Stairway and ramp construction
- Part 11.3 Barriers and handrails
- Part 12.3 Attachment of framed decks and balconies to external walls of buildings using a waling plate
- Part 12.4 Heating appliances, fireplaces, chimneys and flues
- Part 13.2 Building fabric
- Part 13.3 External glazing
- Part 13.4 Building sealing
- Part 13.5 Ceiling fans
- Part 13.6 Whole-of-home energy usage
- Part 13.7 Services



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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 2	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Elevations	



	SINGLE GPO	
	DOUBLE GPO	
	T.V. POINT	
	LIGHT	
	WALL MOUNTED LIGHT	
	LED DOWN LIGHT	
	FLOOD LIGHT	
	HEATER/LIGHT/EXHAUST	
	Smoke alarms as per AS 3786	
	TELEPHONE POINT-CLIENT TO ARRANGE WITH TELSTRA	
	INTERCOM POINT	
	EXHAUST FAN	
	SINGLE GPO FOR MOTORISED BLIND LOCATED ON WALL APPROX. 150MM ABOVE RIGHT HAND SIDE OF BLIND	
	Light to be activated by the smoke alarms	

SINGLE POWER POINTS X NOT SHOWN ON FLOOR PLAN ..... BEING FOR  
 H/PLATE  
 OVEN  
 R/HOOD  
 M/WAVE  
 D/WASHER  
 HOT WATER SERVICE PUMP FOR R/WATER TANK  
 HOIST PROVISION  
 EXIT SIGN LIT UP

NOTE : DIMMER SWITCHES TO LIVING & BEDROOMS

- 4.5KG DRY CHEMICAL FIRE EXTINGUISHER ▲
- 9 LITRE WATER FIRE EXTINGUISHER ▲

NOTES :

1. PROVIDE SENSOR TO EXTERNAL LIGHTS
2. ALL BATHROOM LIGHTS TO HAVE SENSOR POINTS

NOTE :

TASK LIGHTING SHALL BE PROVIDED ABOVE WORKSPACES. A MINIMUM 300 LUX SHALL BE ACHIEVED WHEN TESTED AT MAXIMUM INTERVALS OF 1500MM, DIRECTLY OVER THE SURFACE OF THE BENCH TOPS.

NOTE : AT LEAST ONE DOUBLE GPO SHALL BE PROVIDED WITHIN 300MM FROM THE FRONT EDGE OF THE BENCH TOP (FROM THE EDGE WITHIN THE KITCHEN AREA) AND MAX HEIGHT OF 1100MM FROM FFL..... GPO SHALL BE LOCATED ADJACENT TO A BENCH OF MINIMUM 600MM.

NOTE : A SYSTEM OF LIGHTING MUST BE INSTALLED TO ASSIST EVACUATION OF OCCUPANTS IN THE EVENT OF A FIRE, AND -

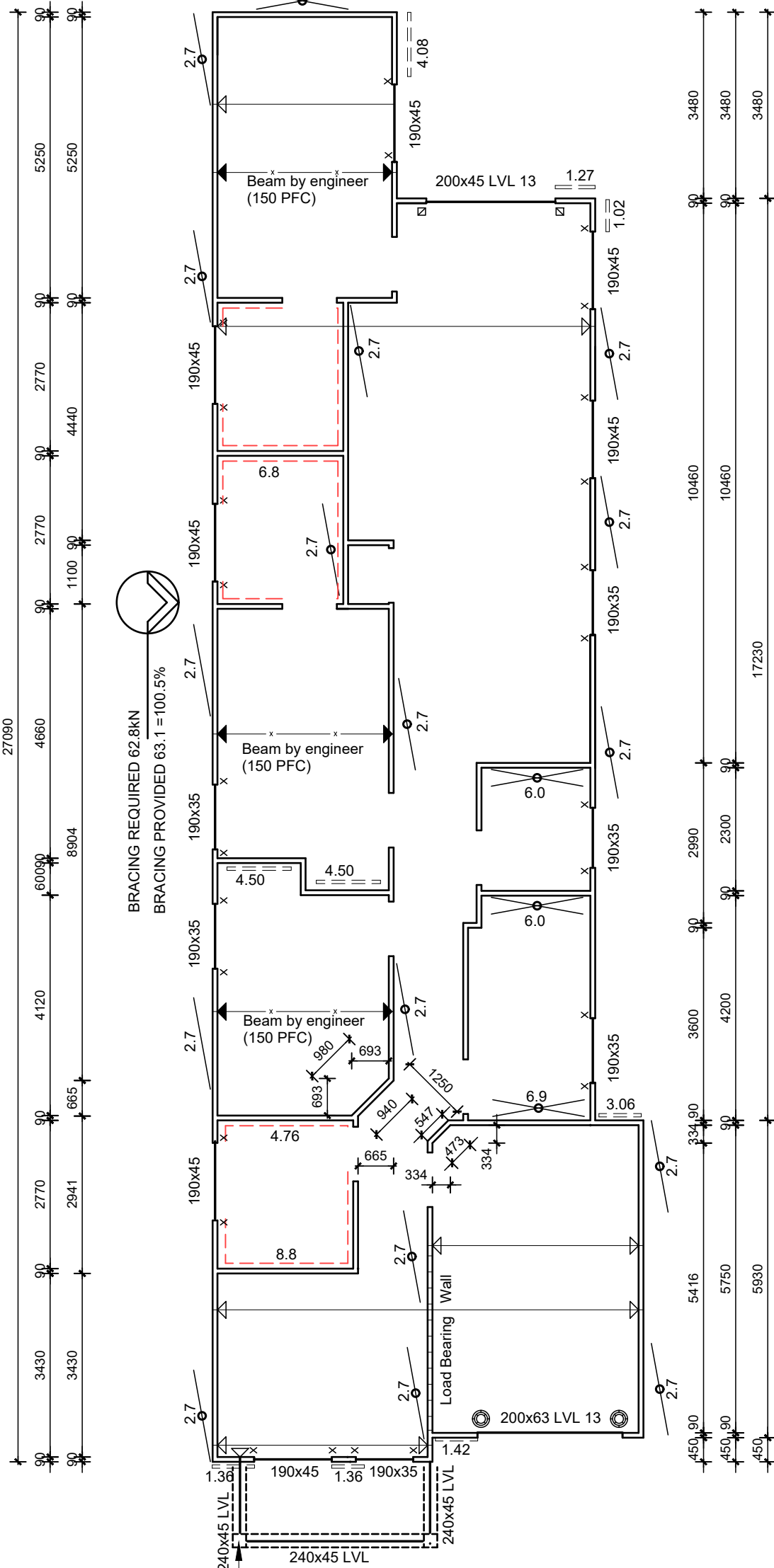
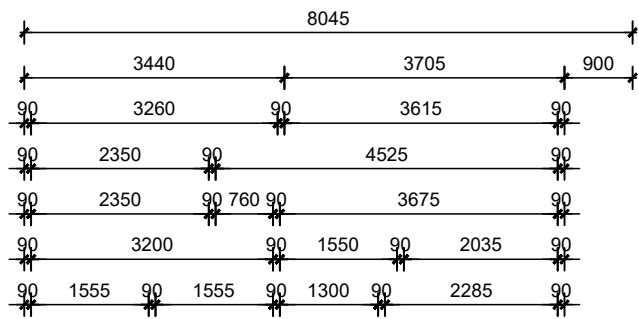
- A) BE ACTIVATED BY THE SMOKE ALARM REQUIRED BY 3.7.5.4(B); AND
- B) CONSIST OF -
  - 1) A LIGHT INCORPORATED WITHIN THE SMOKE ALARM
  - 2) THE LIGHTING LOCATED IN THE CORRIDOR, HALLWAY OR AREA SERVED BY THE SMOKE ALARM

## ELECTRICAL PLAN



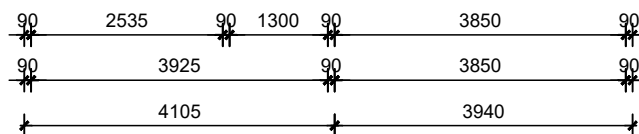
High Physical Support

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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 3	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Electrical plan	



BRACING REQUIRED 62.8kN  
BRACING PROVIDED 63.1 = 100.5%

BRACING REQUIRED 16.5 kN  
BRACING PROVIDED 48.3 = kN 292.7%  
250x250 Stud wall Column



### WALL FRAME PLAN



### WALL FRAMING MEMBERS (MAIN MEMBERS ONLY)

Studs 90x35MGP10 @ 600ccrs & 450 ccrs. to wet area  
(Studs at 300 ccrs to areas with floor / ceiling tiles)  
Top plate 90x45 (with trusses located directly over stud)  
Bottom plate 90x45  
Noggin 90x35 at 1350 max Ccrs

TOP BRACING PANEL SHALL BE FIXED TO RAFTERS TO COMPLY WITH AS 1684

ALL FRAMING TIMBER SHALL BE MIN STRESS GRADE MGP10 JD4 TO COMPLY WITH AS 1684 UNLESS OTHERWISE NOTED

**Note**

Lintels shall be located directly below top plate.  
ALL TRUSSES SHALL BE LOCATED DIRECTLY OVER A COMMON STUD  
Provide TWO common studs to all load bearing beams Unless other wise nominated

Provide Min. 3 studs to all wall junctions

- INTERNAL NON LOAD BEARING WALL 20mm LOWER THAN LOAD BEARING WALLS
- UNLESS TWO OR MORE JAMB STUDS ARE NOMINATED. LINTELS TO EXTEND PAST JAMB STUD TO ADJACENT COMMON STUD
- UNLESS NOMINATED ALL TIMBER SHALL BE MGP10 PINE
- ALL SIZES NOMINATED ARE MINIMUM SIZE

**LEGEND**

- 1.5kN/m Metal angle of min. nominal section 20x18x1.2 (1.5kN/m)
- 3.0kN/m Diagonal Tensioned metal straps (3.0kN/m)
- 3.4 kN/m Plywood bracing(3.4kN/m)
- 3.4 kN/m Plywood bracing(3.4kN/m)

- × Jamb Studs opening two 90x35
- ⊠ Jamb Studs opening three 90x35
- ⊙ Jamb Studs opening five 90x35
- ▽ Studs two 90x35
- ◀ Column 89x5.0 SHS refer engineer's details
- TV Reinforced niche for TV (Size to be confirmed)

**NOTE:**  
All internal walls of ensuites shall be reinforced with 12mm thick ply wood from floor level to ceiling

**TIE DOWNS IF APPLICABLE**

- Battens to Rafter One No. 14 Bugle screw with 38 penetration Alternative No. 14 Type 17 Screw 50mm penetration to top chord/ rafter
- Rafter to plate 30x0.8 Looped metal strap with three 2.8 nails each end to top plate at 1200 max. ccrs.
- Beam to Lintel 30x0.8 Looped metal strap with five 2.8 nails each end to top plate
- Plate to stud 30x0.8 Looped metal strap with three 2.8 flat head nails at 1200 max. ccrs.
- Plate to brick wall 30x0.8Galv. metal strap looped over rafter and M8 masonry anchor at ends 900 down from top
- Plate to floor 14 Gauge screw to floor joists at 900 max. ccrs.
- Rafter to fascia Framing anchor with 4/ 2.8 nails in each leg,
- Beam Two 14 Bugle screws
- Column to fascia Two M10 Bolts to col & 40x40x80 long support bracket with three 14 gauge self drilling screws to posts

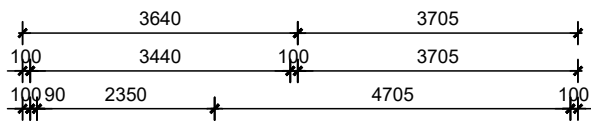


High Physical Support

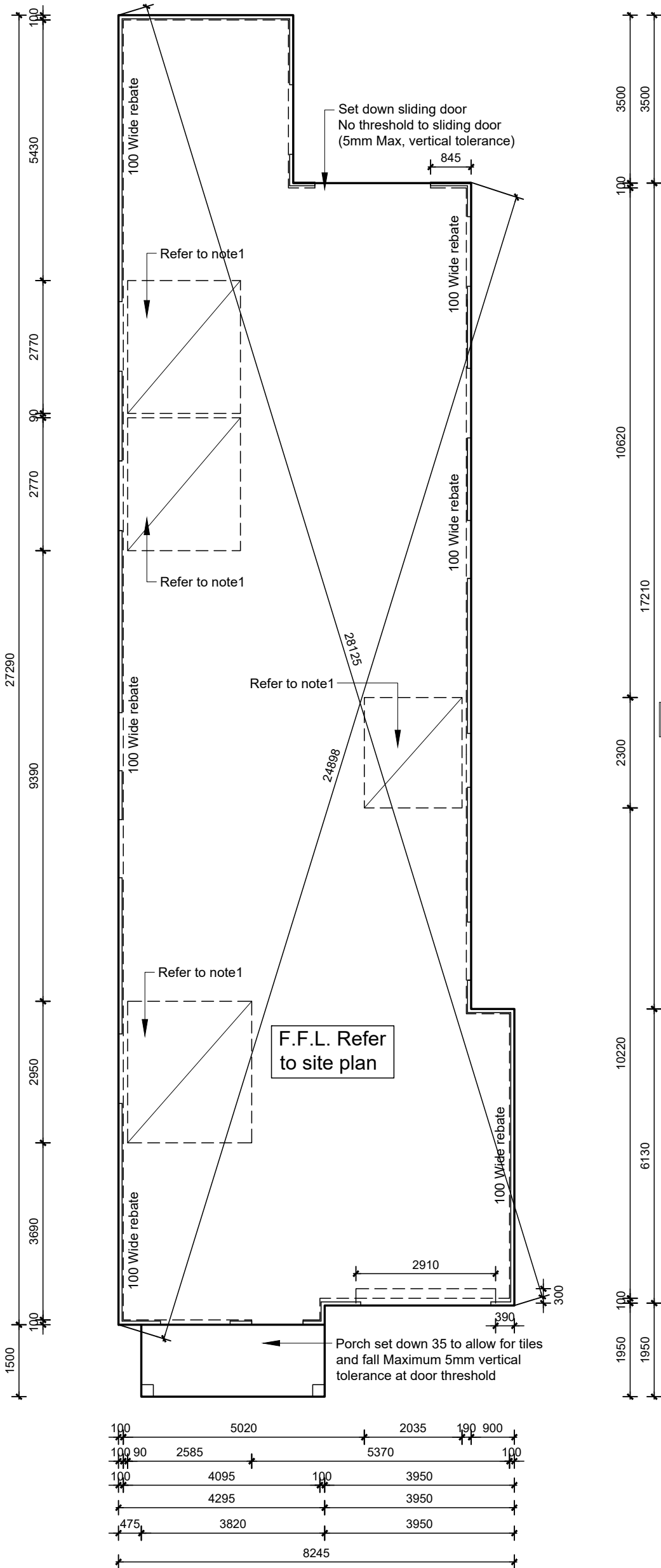


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<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 4	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Wall frame plan	



NOTE 1:  
Set Down slab to accommodate Tiles  
allowing 5mm Max, vertical tolerance at door  
threshold TYPICAL FOR ALL WET AREAS



**NOTE:**

This plan is a slab layout plan only & must be read in conjunction with the engineer's reports and footing plan.  
Beam locations shall in all cases comply with the engineers footing plans  
The engineers footing plan must be fully complied with & will at all times take precedence over this plan.  
All dimensions must be read in conjunction with the ground floor plan. Any discrepancy must be reported to the designer  
NOTE: IF HEBEL IS TO BE USED FOR EXTERNAL CLADDING IN LIEU OF BRICK REBATE SHALL BE REDUCED TO 100

**SLAB LAYOUT PLAN ONLY  
REFER TO ENGINEER'S PLAN**

SCALE

1-100

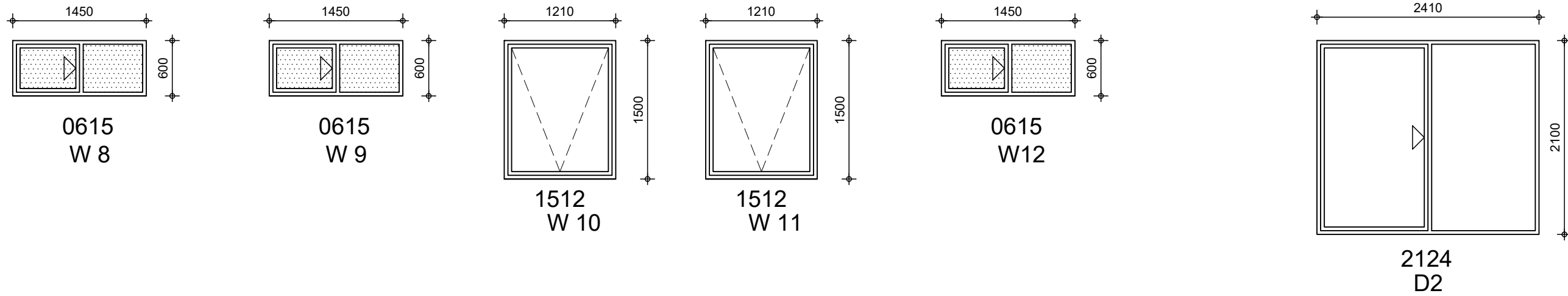
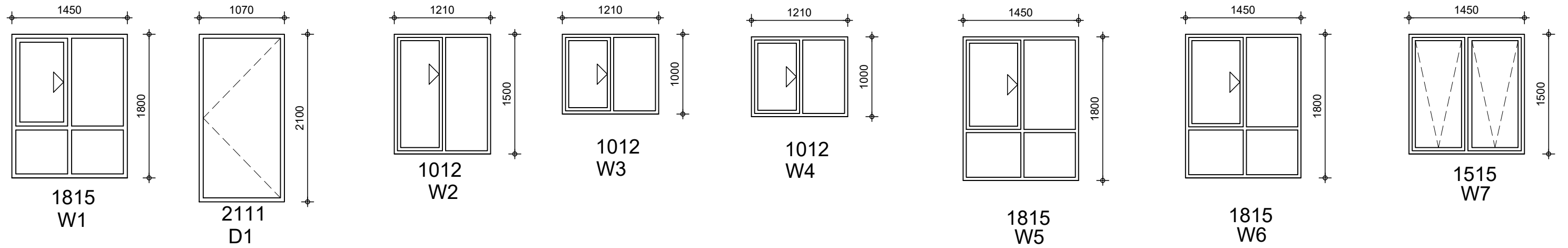


High Physical Support



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<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 5	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Footing plan	




**NOTE:**

- ALUMINIUM FRAMED WINDOWS TO ALL DWELLINGS
- ALL OPENING WINDOWS TO INCLUDE FLY SCREENS
- ALL DIMENSIONS TO BE CONFIRMED PRIOR TO MANUFACTURING AND INSTALLATION
- REFER TO INDEPENDENT ENERGY EFFICIENCY REPORT FOR ALL INSULATION AND GLAZING REQUIREMENTS

## WINDOW AND DOOR SCHEDULE

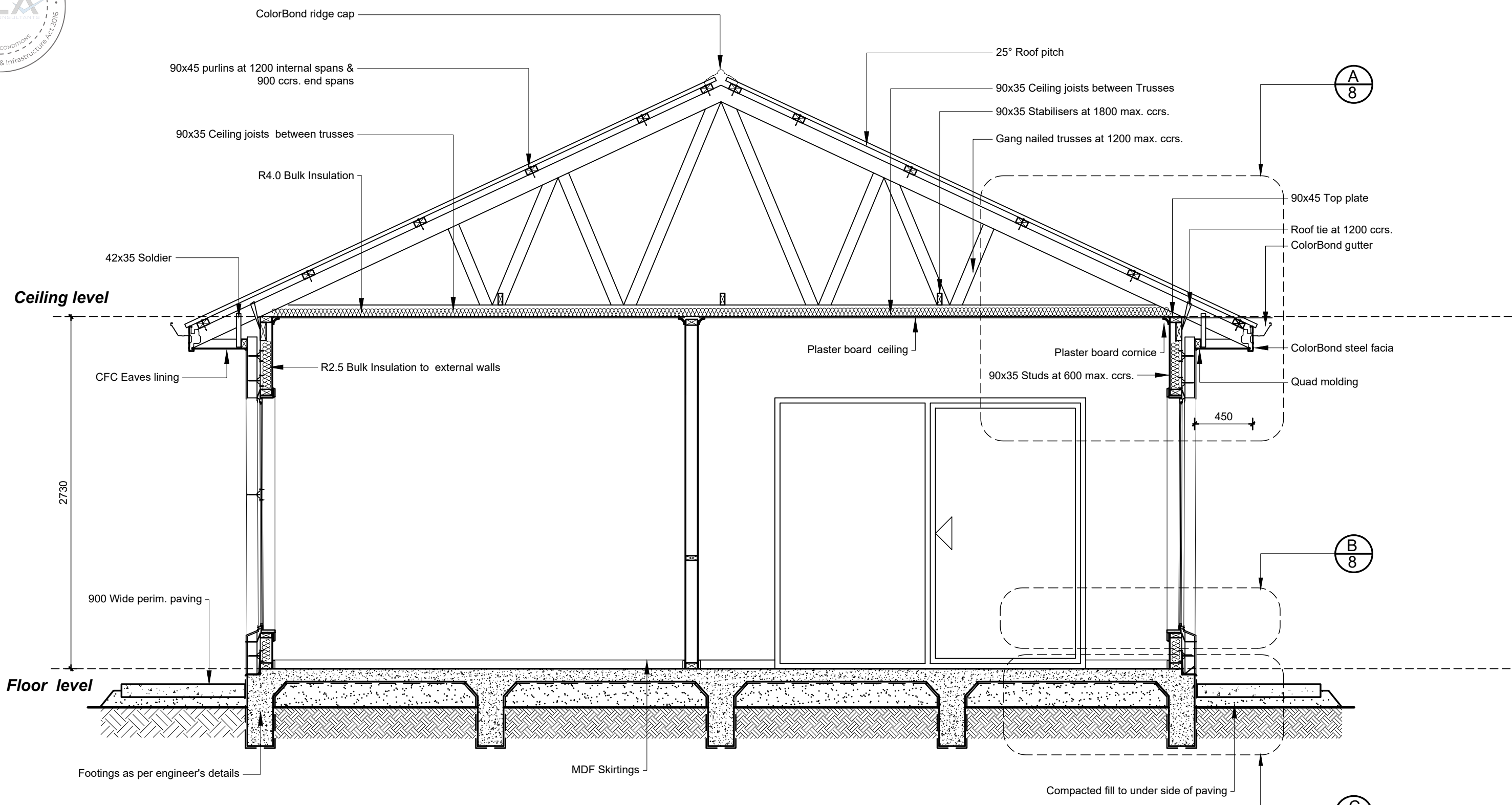
SCALE 1-50

**LEGEND**

 Obscure Glazing



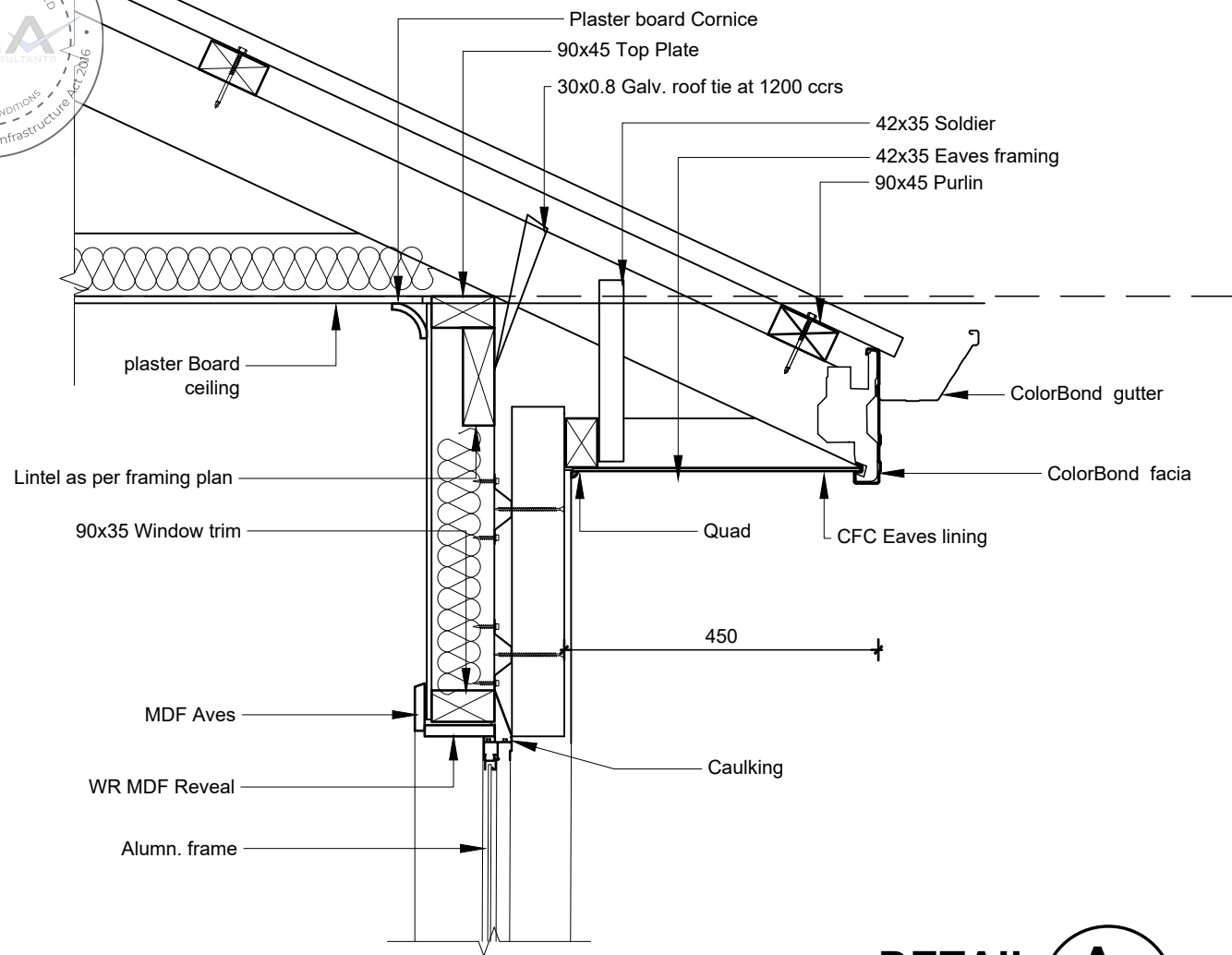
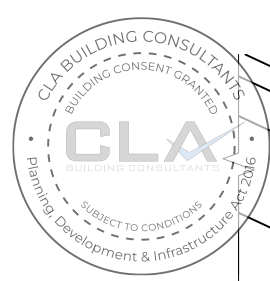
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 6	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Window schedule	



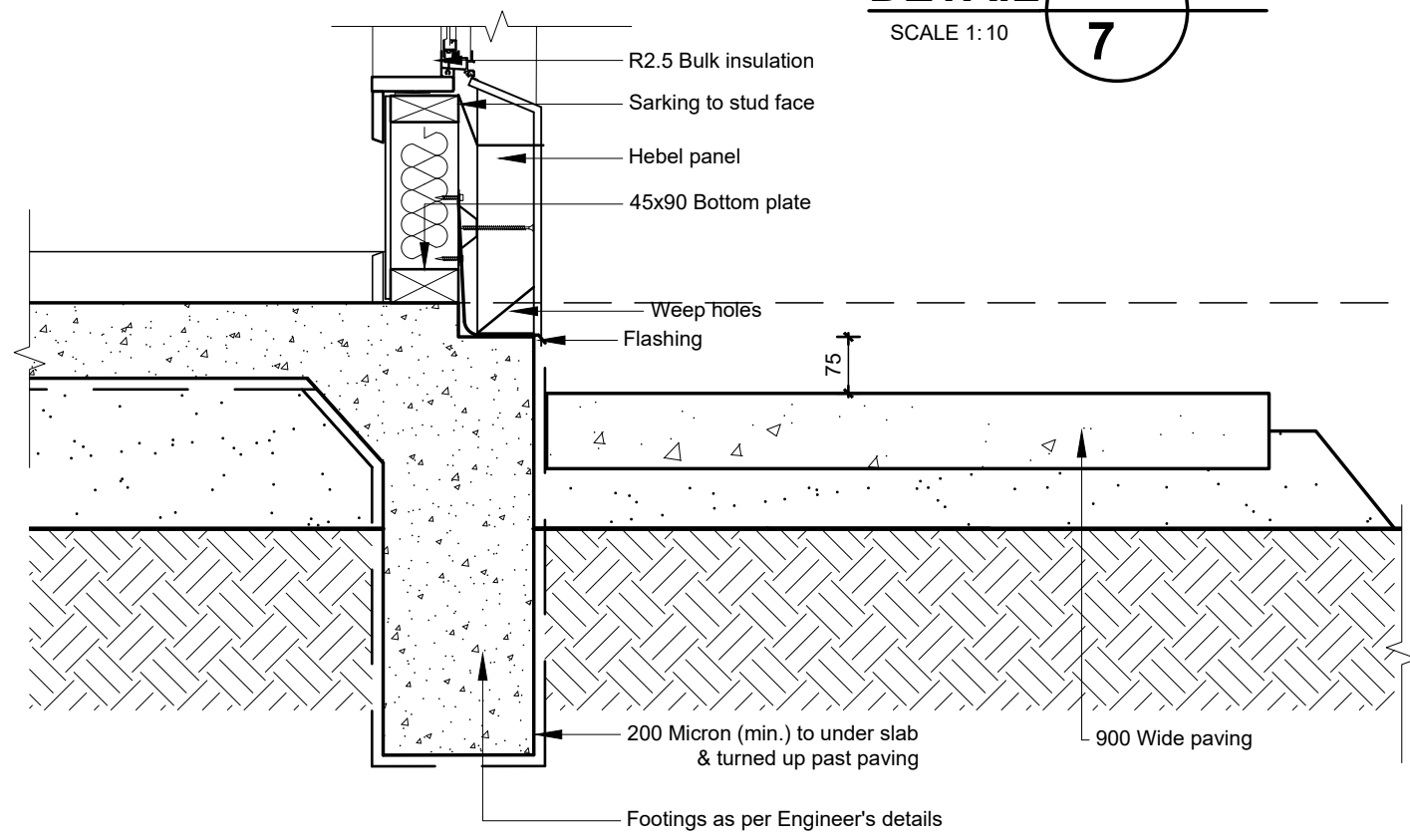
**SECTION A A**  
SCALE 1:30

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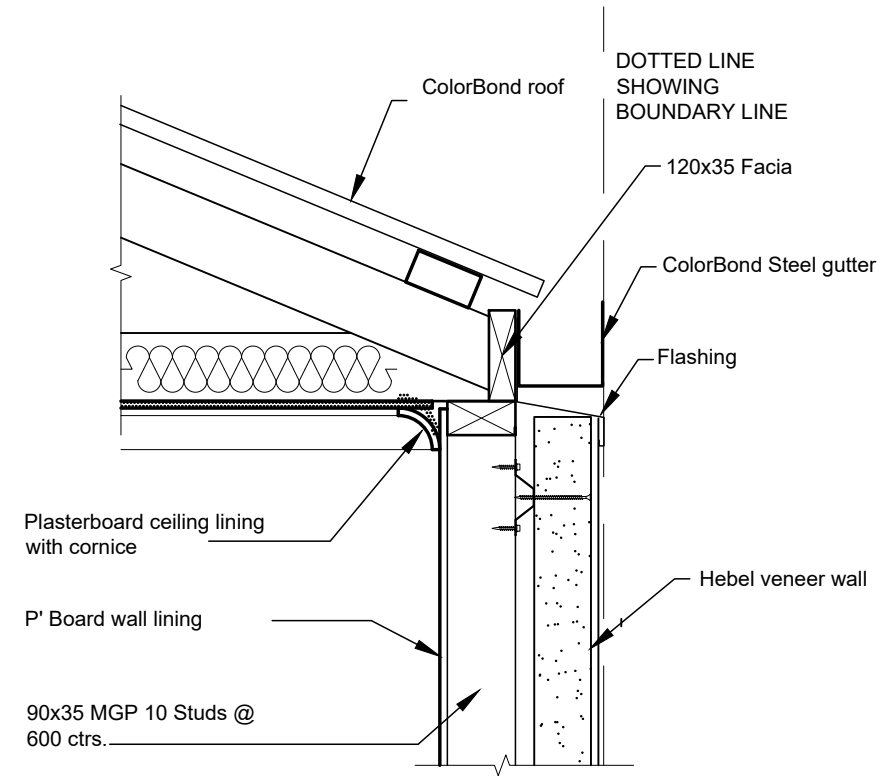
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 7	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Section	



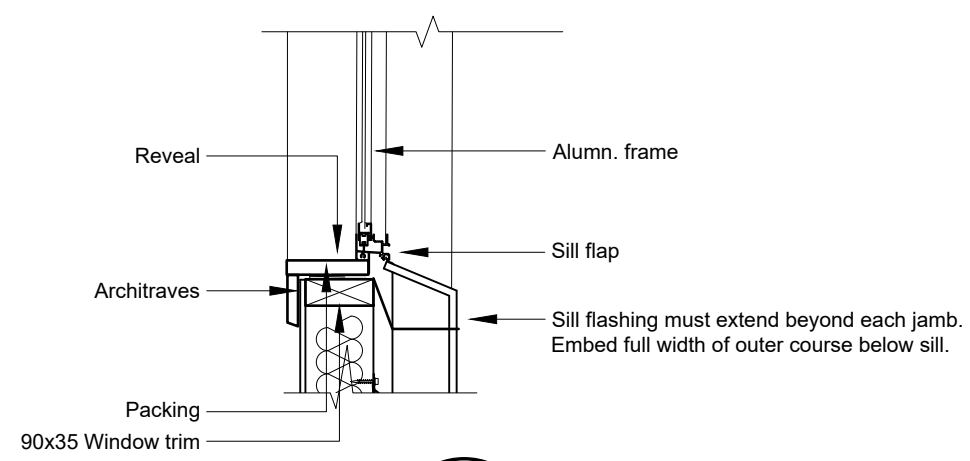
**DETAIL A**  
SCALE 1:10  
**7**



**DETAIL C**  
SCALE 1:10  
**7**



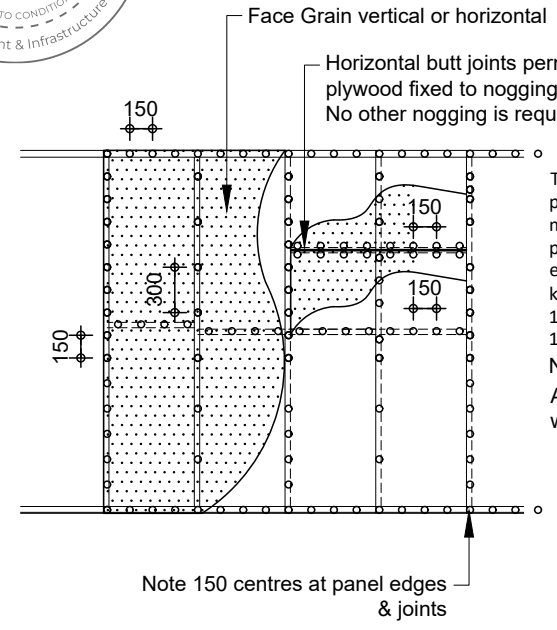
**TYPICAL BOUNDARY GUTTER DETAIL 1:10**



**DETAIL B**  
SCALE 1:10  
**7**

<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231			<b>SHEET</b> 8	<b>DRAWING TITLE</b> Details
<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale				

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This system uses a minimum thickness of 7mm, F8 structural plywood at a maximum stud spacing of 600mm. This system may be used for sheathed sections less than 900mm wide, provided the appropriate reduction factor from the section entitled "Short Wall Bracing Systems" is applied to the 3.4 kN/m bracing capacity. As indicated, fastener centres are 150mm Top and Bottom Plate, 150mm Vertical Edges, 150mm Nogging, 300mm Intermediate Studs.

Note:  
At least one side of the bracing wall shall be lined with gypsum plaster board or equivalent

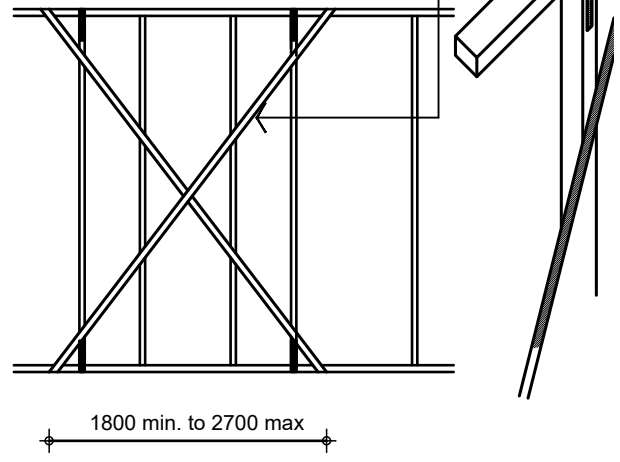
Plywood Stress Grade	Stud Spacing	
	450	600
F8	7	9
F11	6	7

**PLYWOOD BRACING**  
(B.C. 3.4 Kn/m)

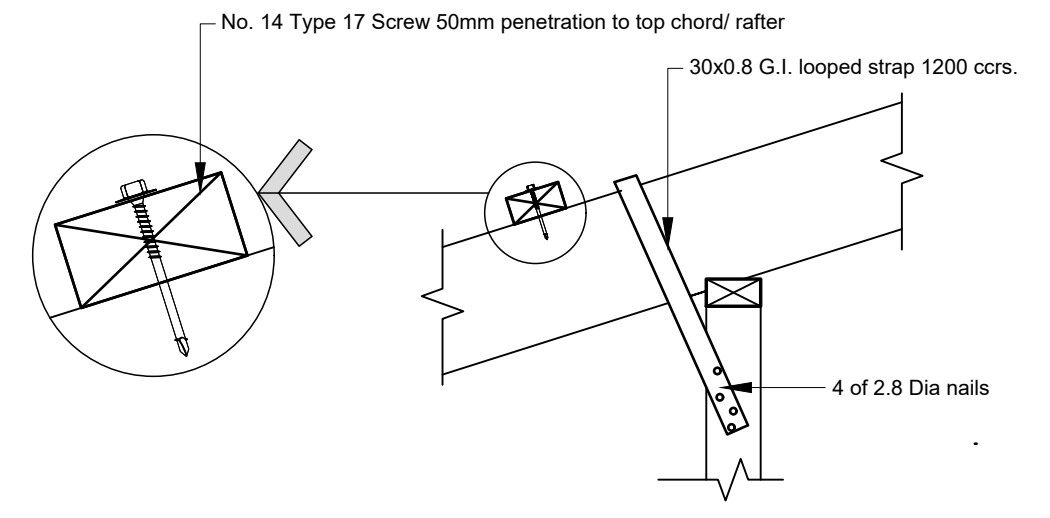
30x0.8 metal strap looped over plate & fixed to stud with 4/30x2.8 diam. flathead nails to each end.

Alternative provide single straps to both sides, with 4 nails per strap end or equivalent anchors

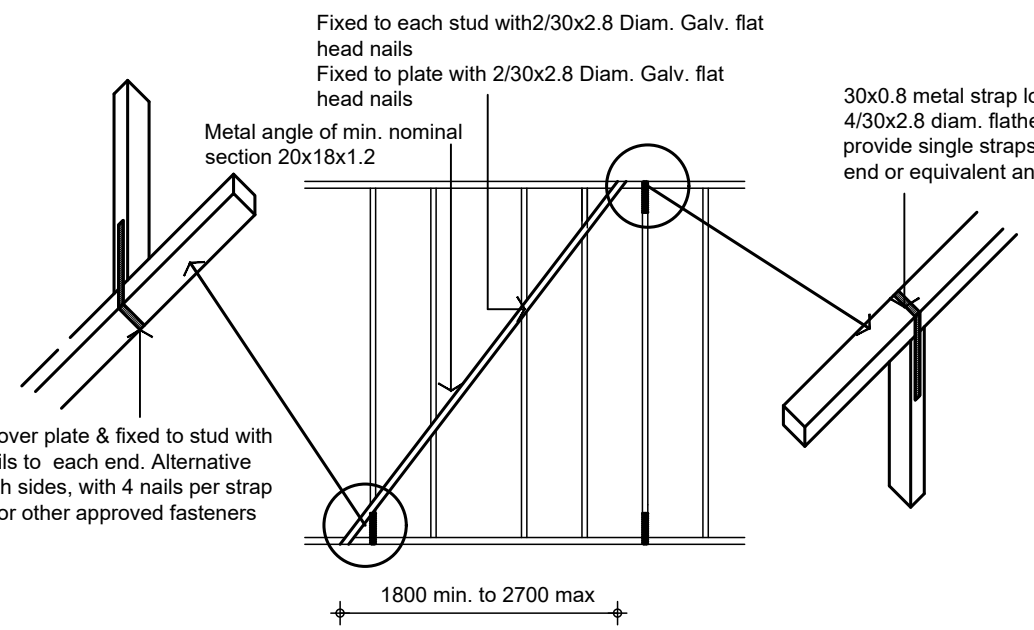
30x0.8 (or equivalent) tensioned galv. metal straps nailed to plates with 4/30x2.8 diam. galv. flathead nails to each end.



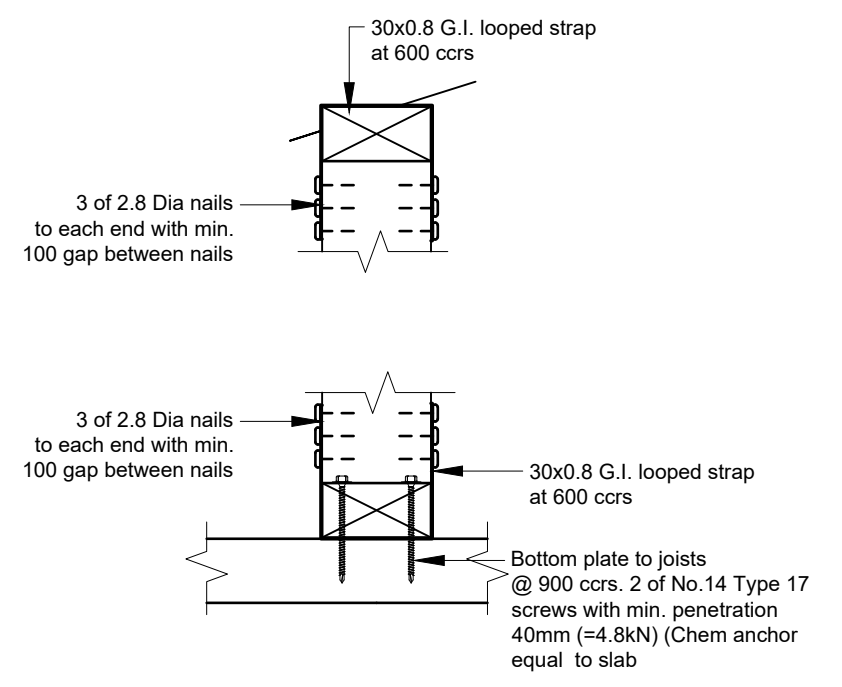
**DOUBLE DIAGONAL TENSION METAL STRAP BRACES** (B.C. 3.0 Kn/m)



**TYPICAL RAFTER TO WALL & PURLING TIE DOWN**



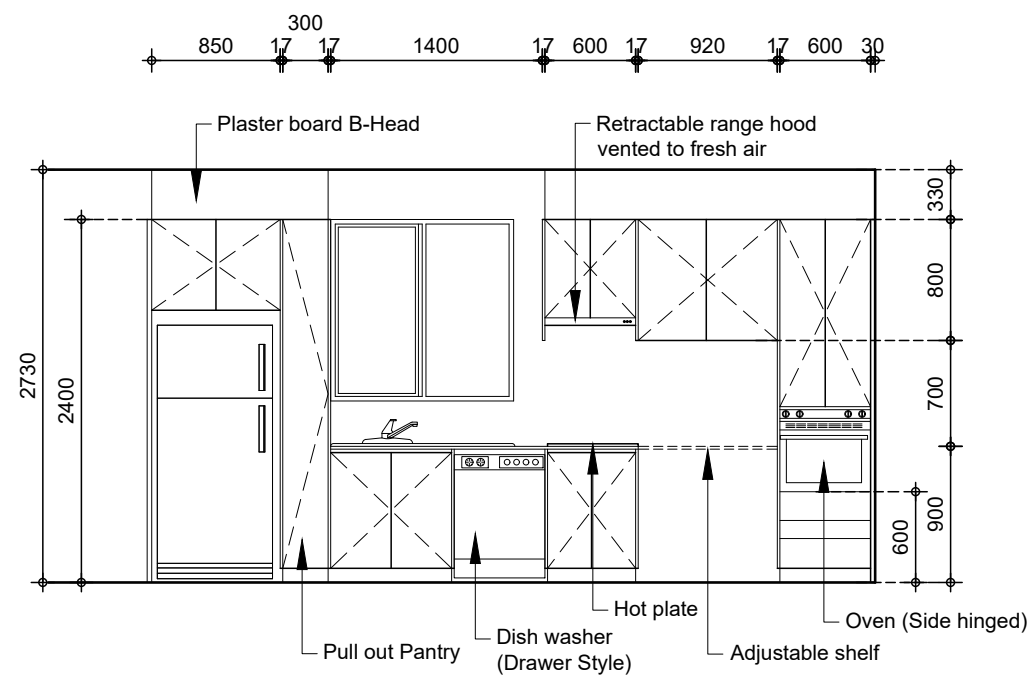
**ANGLE BRACING METAL BRACE** (B.C. 1.5 Kn/m)



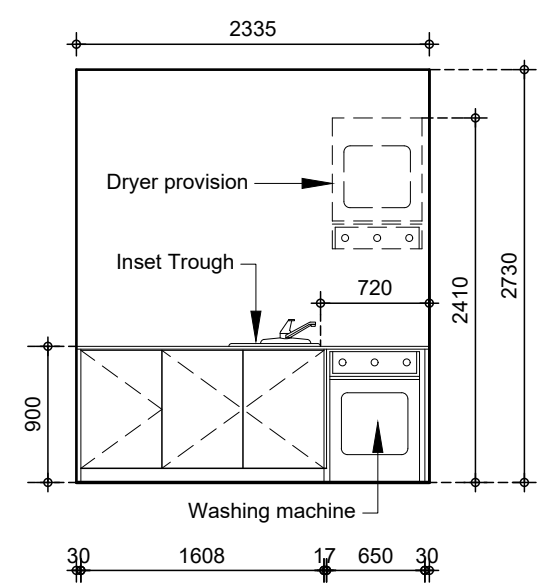
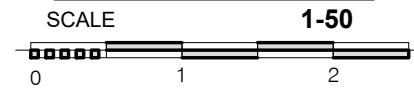
**TIE DOWN TO TOP & BOTTOM PLATES**



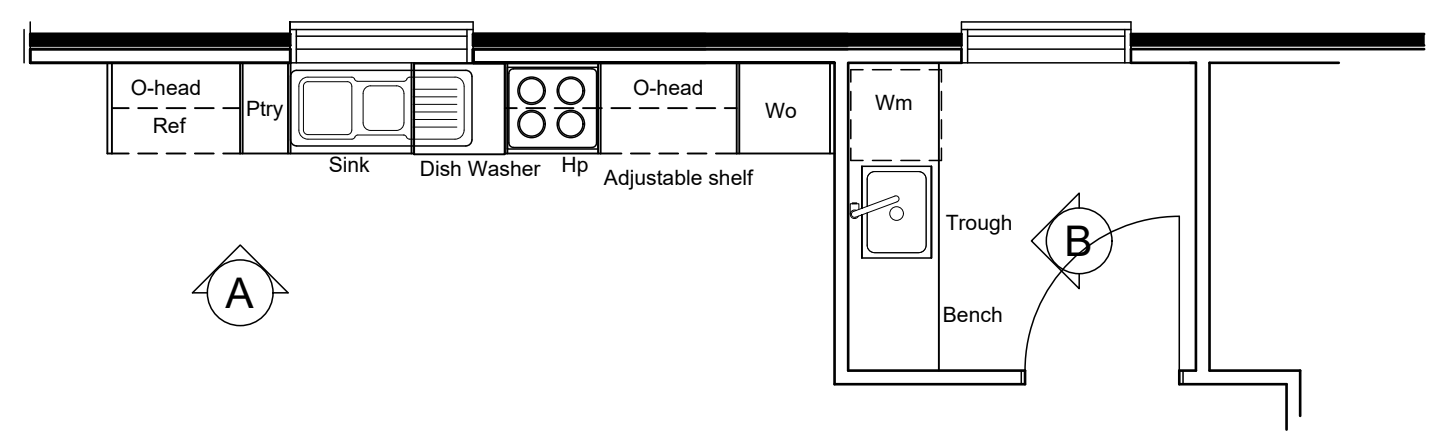
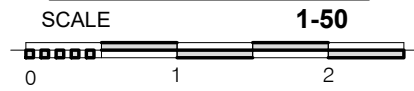
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 9	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



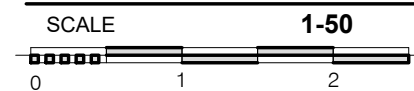
**ELEVATION A**



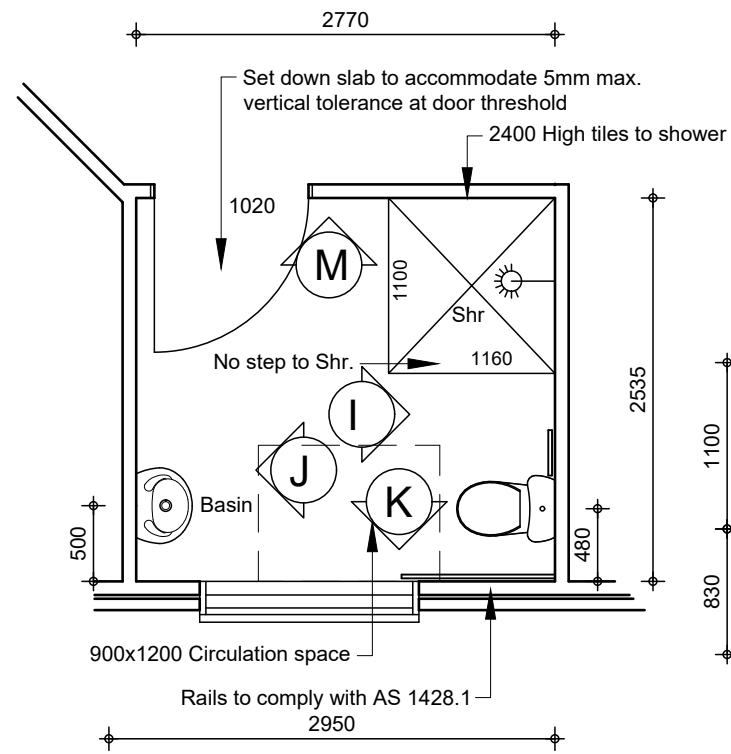
**ELEVATION B**



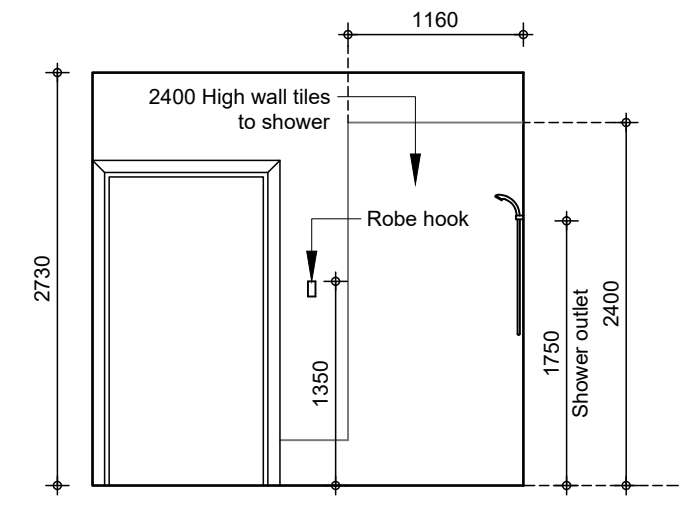
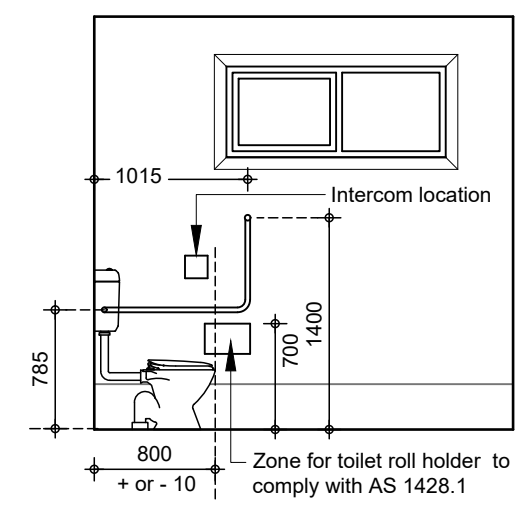
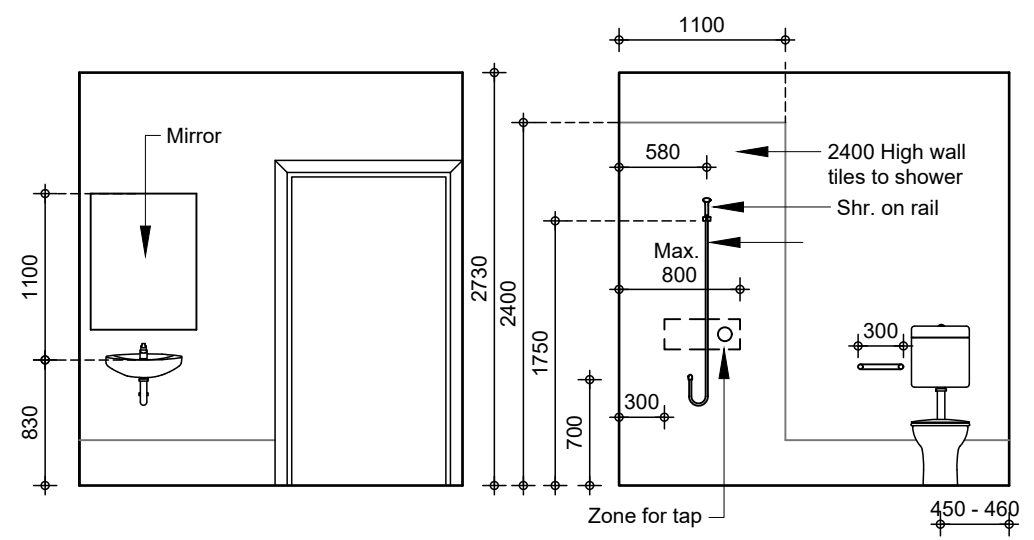
**GROUND FLOOR PLAN KITCHEN / LAUNDRY**



<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 10	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



**NOTE:**  
All internal walls of ensuites shall be reinforced with 12mm thick ply wood from floor level to ceiling



**GROUND FLOOR PLAN ENSUITE 1**

SCALE **1-50**  
0 1 2

**ELEVATION J**

SCALE **1-50**  
0 1

**ELEVATION I**

SCALE **1-50**  
0 1

**ELEVATION K**

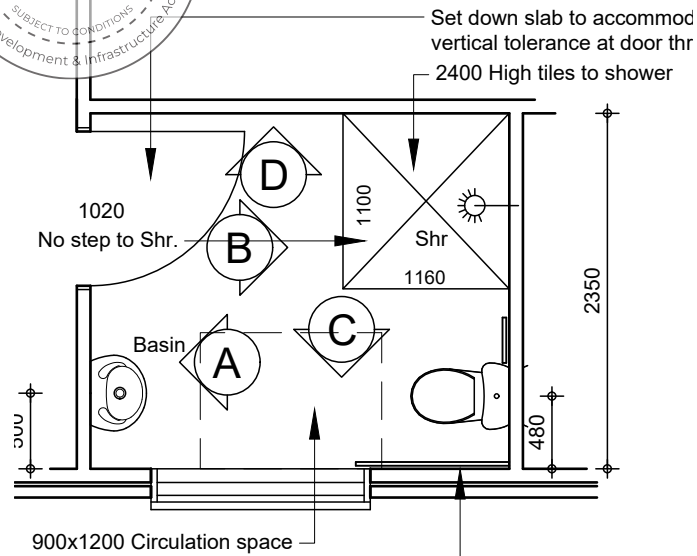
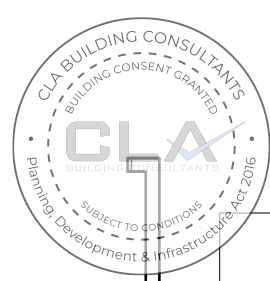
SCALE **1-50**  
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**ELEVATION M**

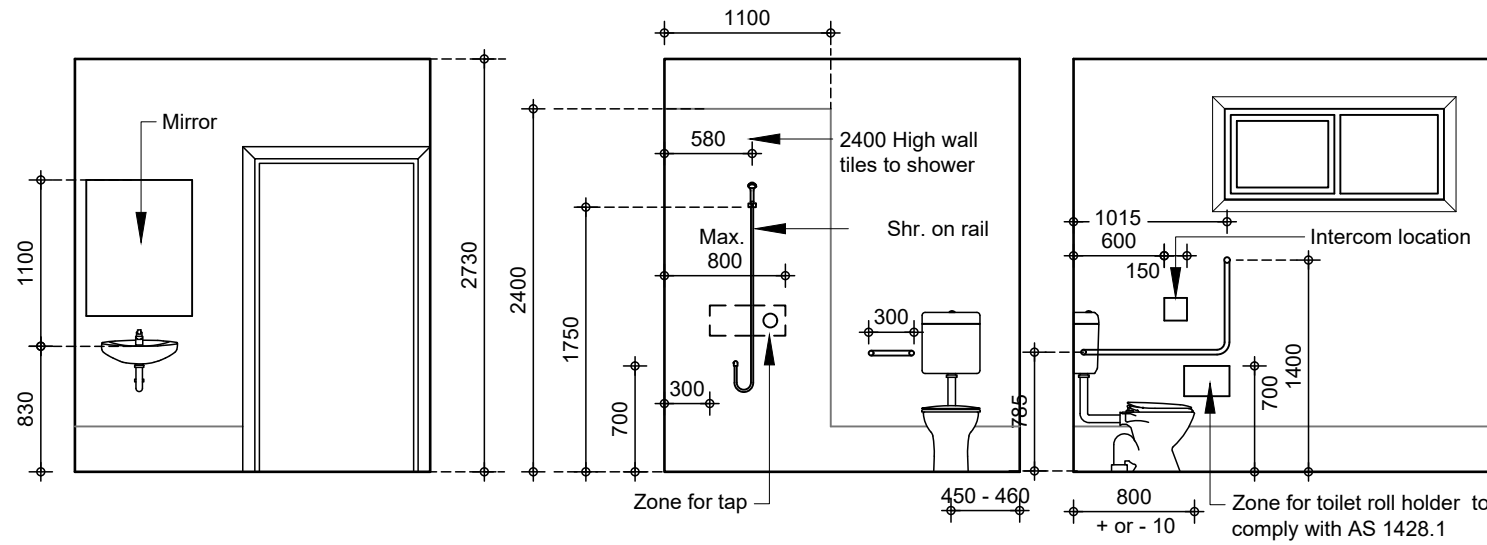
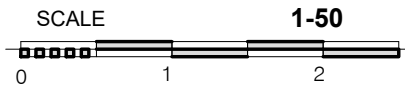
SCALE **1-50**  
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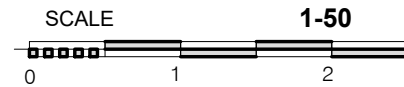
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE APPLICATION</b>	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 11	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



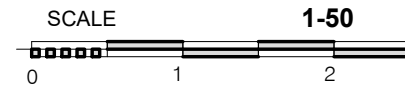
### GROUND FLOOR PLAN ENSUITE 3



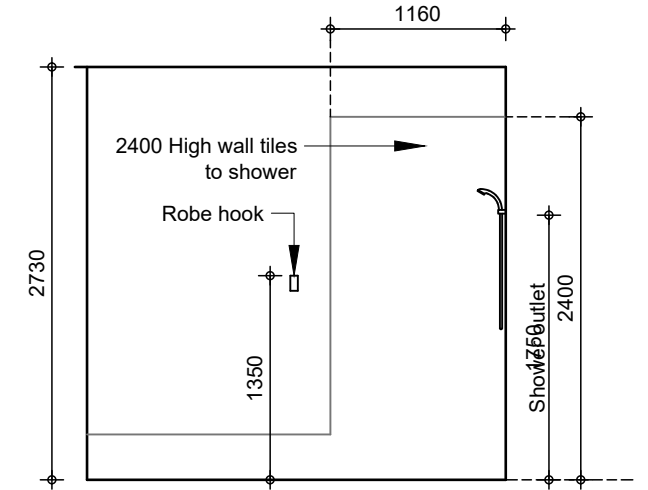
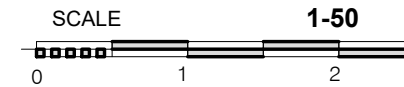
### ELEVATION A



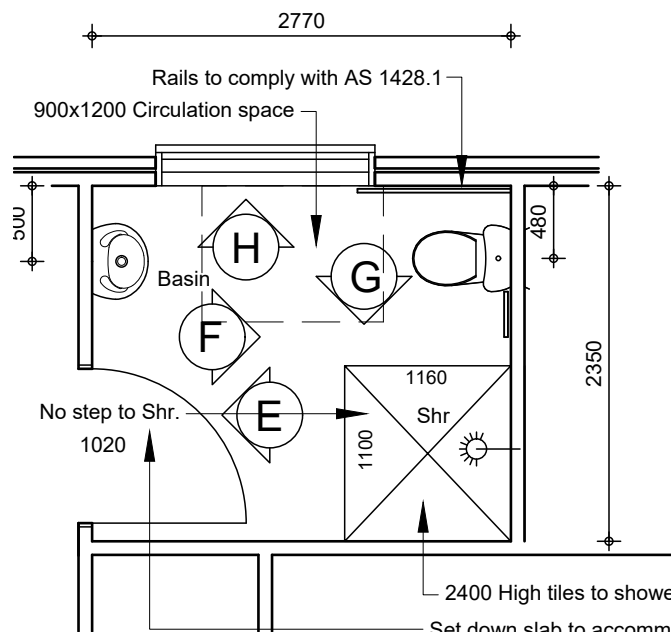
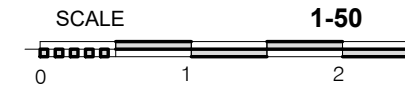
### ELEVATION B



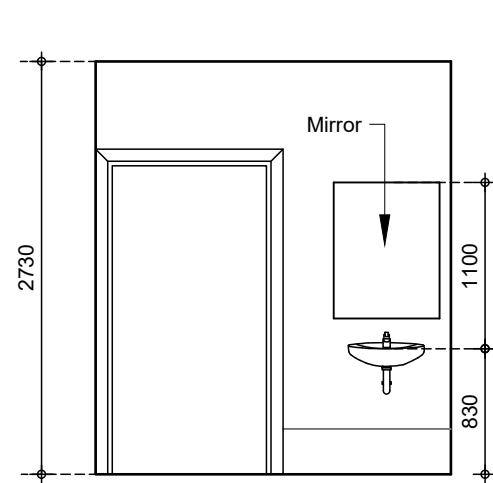
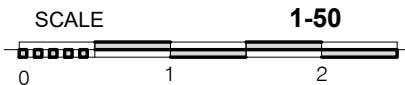
### ELEVATION C



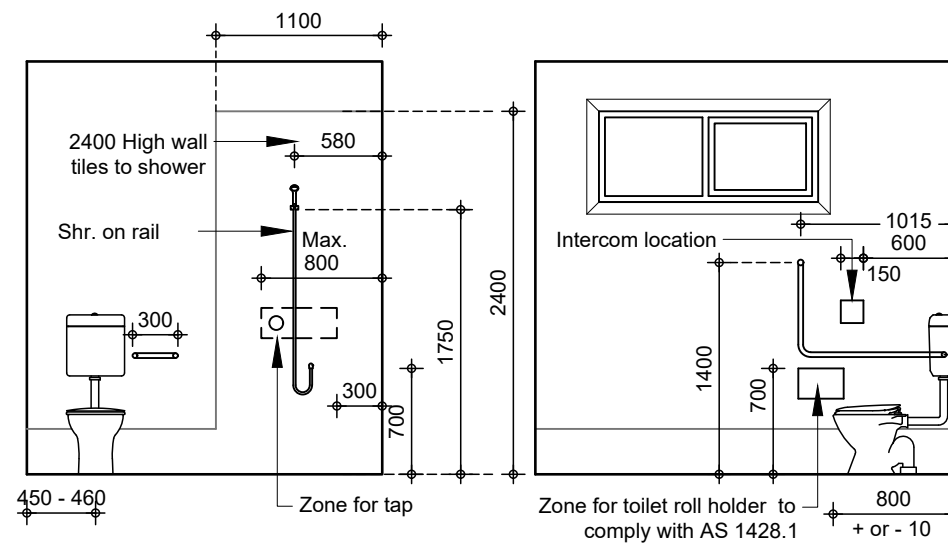
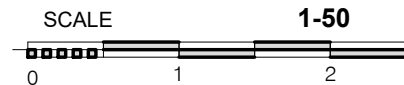
### ELEVATION D



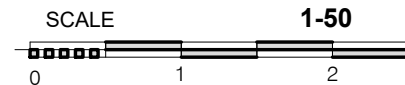
### GROUND FLOOR PLAN ENSUITE 2



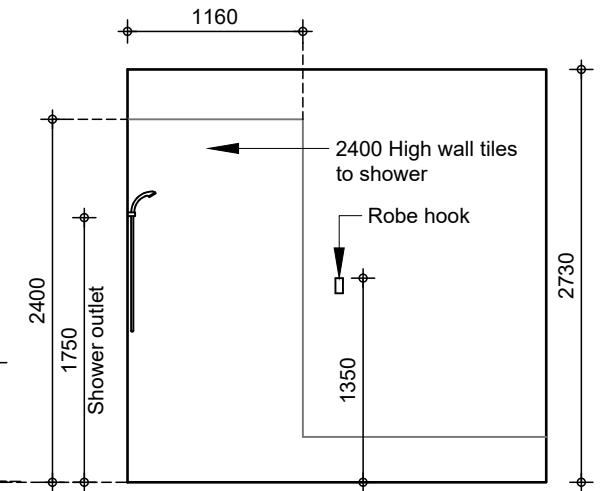
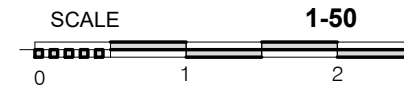
### ELEVATION E



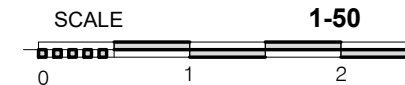
### ELEVATION F



### ELEVATION H



### ELEVATION G



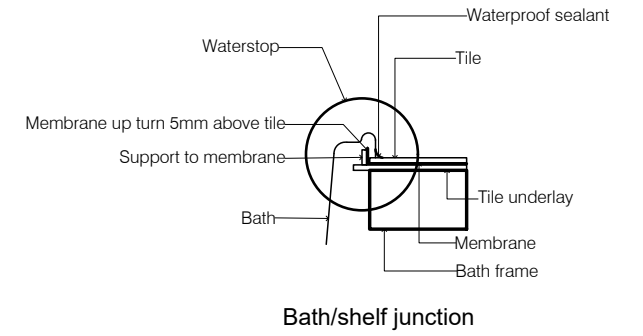
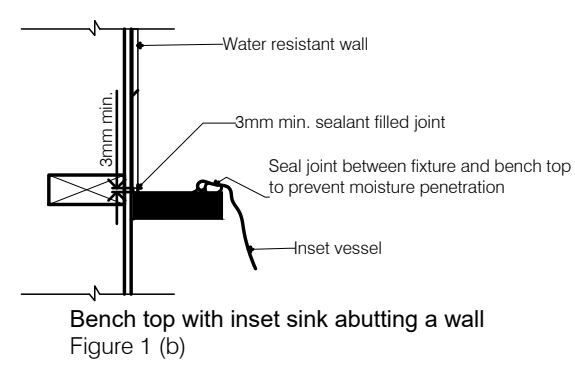
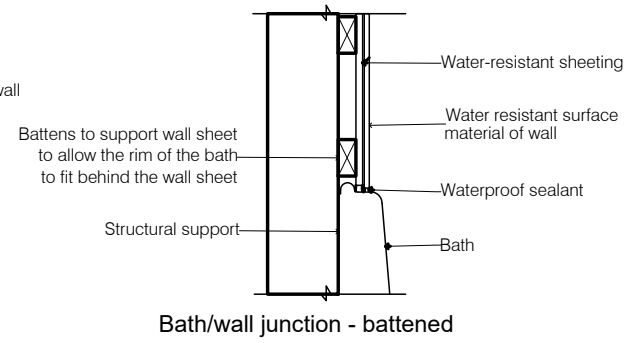
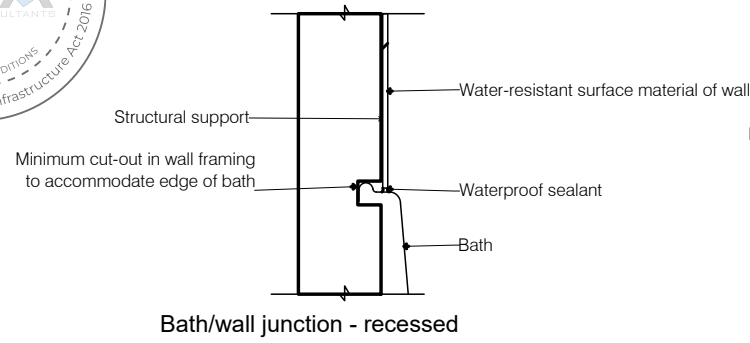
**NOTE:**  
All internal walls of ensuites shall be reinforced with 12mm thick ply wood from floor level to ceiling



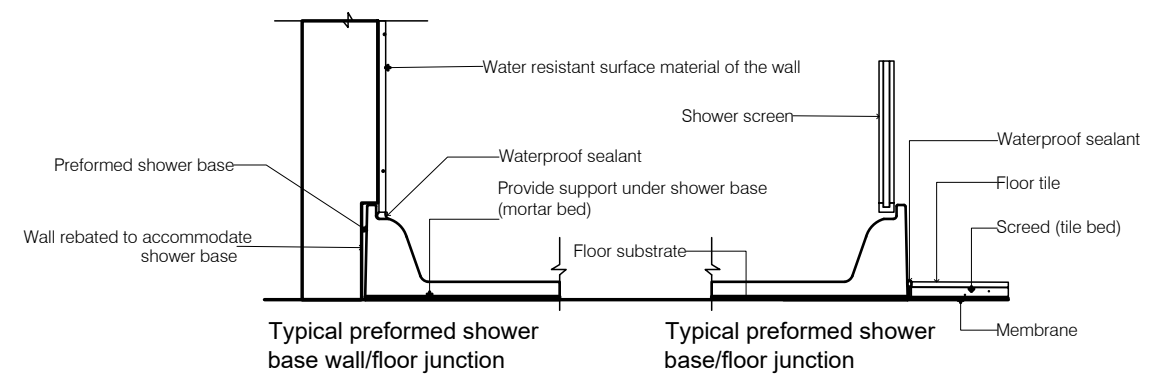
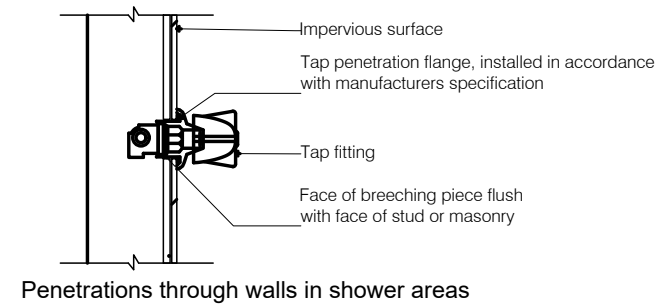
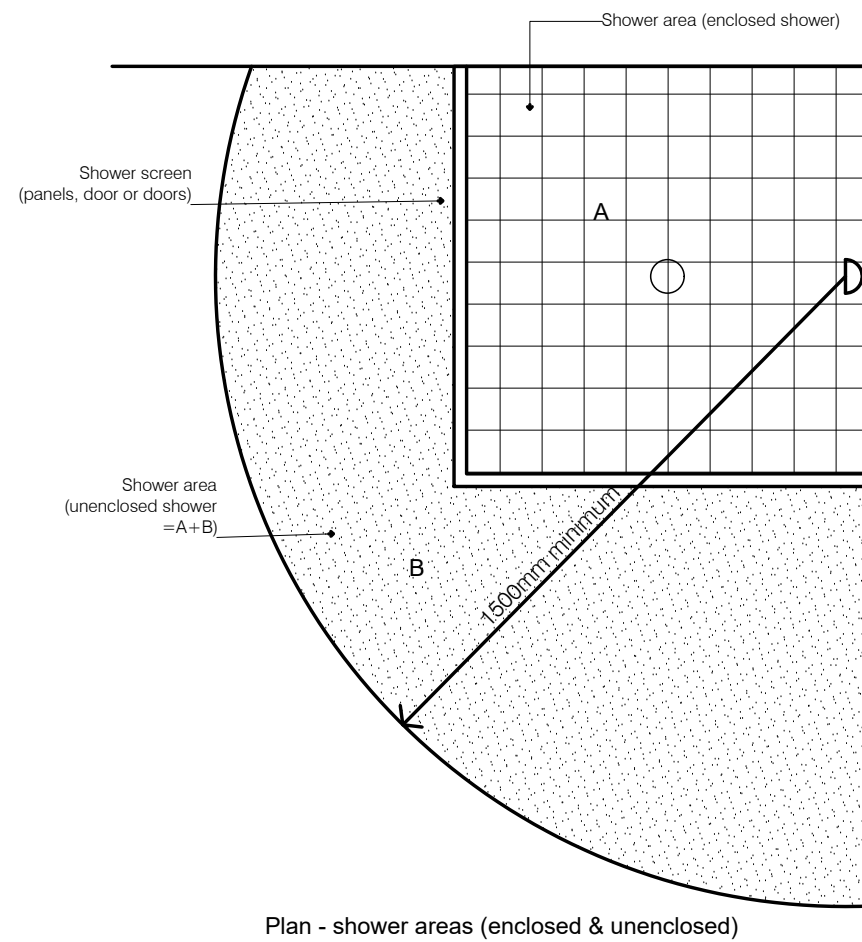
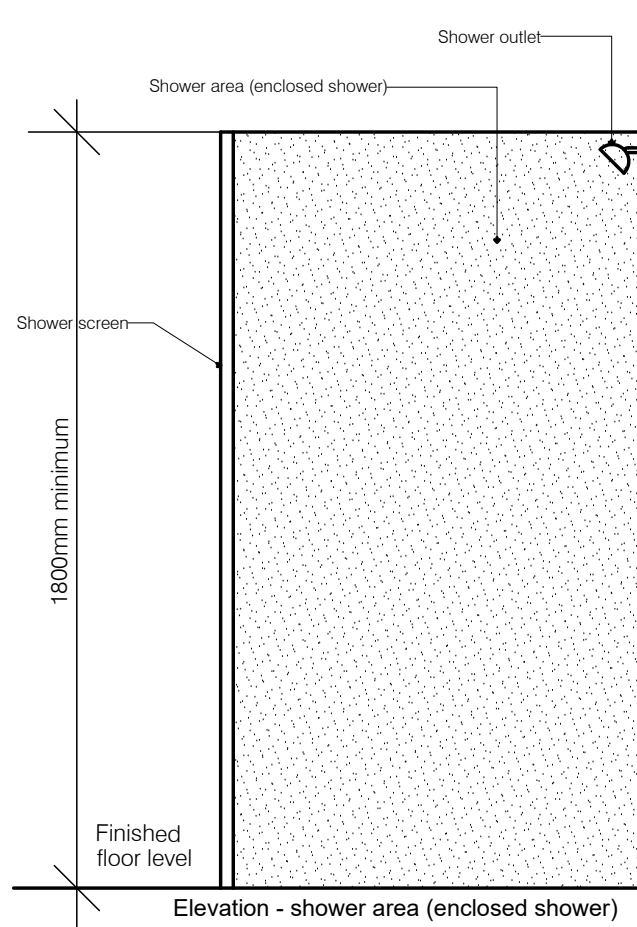
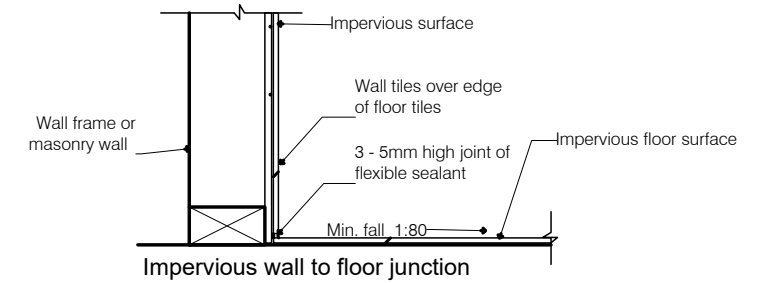
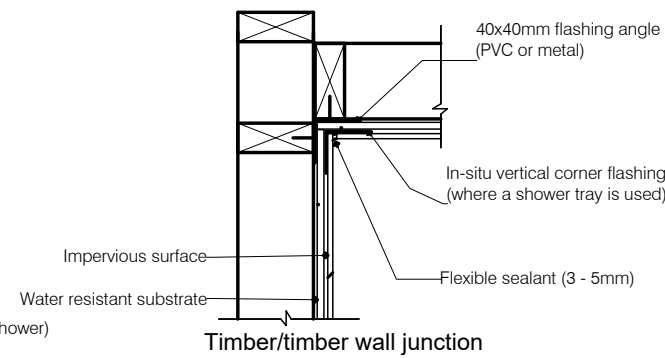
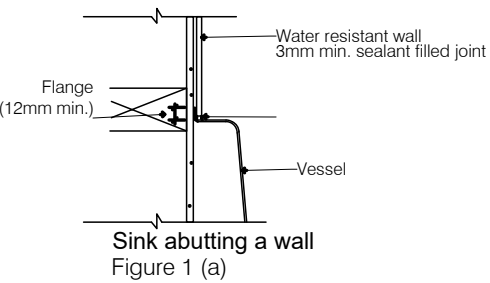
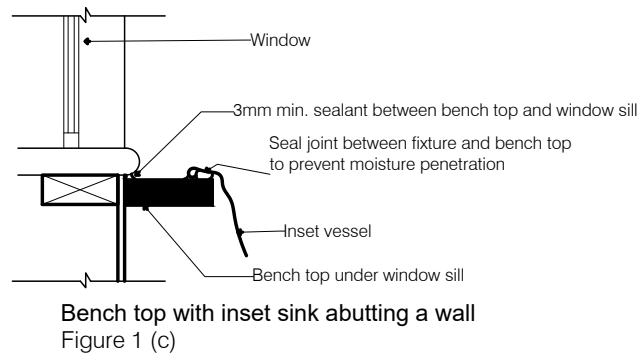
<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
<b>PROJECT No.</b> 190820231	<b>SHEET</b> 12	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale		<b>DRAWING TITLE</b> Details



Wet areas shall comply with AS 3740 or Part 10.2 of the ABCB Housing Provisions and are protected in accordance with the appropriate requirements of 10.2.1 to 10.2.6 and 10.2.12 of the ABCB Housing Provisions.



Note: Bottom end of vertical flashing or corner flashing must finish on inside of waterproof membrane (which must comply with AS/NZS 4858) or shower base.



**North Eastern Designers Pty. Ltd**  
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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 13	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details	



## GENERAL NOTES

BUILDING WORK CONSTRUCTED IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE & 6 STAR ENERGY REQUIREMENTS.

WC DOORS TO HAVE LIFT OFF HINGES IN ACCORDANCE WITH NCC SECTION 3.8.3.3

WEATHER SEALS TO EXTERNAL DOORS

EXHAUST FANS & ORANGE HOOD TO CONTAIN DAMPER SEALS.

DOWN LIGHTS TO BE SEALED & CONTAIN HEAT COVERS  
HARD WIRED SMOKE ALARM WITH 9V BATTERY BACKUP  
SMOKE DETECTORS TO BE INTERCONNECTED AS PER NCC  
GLAZING ASSEMBLIES IN ACCORDANCE WITH AS1288- 2006 & AS2047 -2014

GUTTERS & DOWN PIPES IN ACCORDANCE WITH NCC VOL2 PART 3.5.2 & OVERFLOWS TO TABLE 3.5.2.4

## DIMENSIONS

FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS & LEVELS BEFORE COMMENCEMENT. ANY DISCREPANCY TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

## TERMITE PROTECTION

IN ACCORDANCE WITH AS3660.1 2014

PERIMETER: VISUAL BARRIER EDGE EXPOSURE 75 MM FROM DAMP PROOF COURSE TO TOP OF PAVING

## WET AREA CONSTRUCTION

EXCEPT WALLS CONSTRUCTED OF MASONRY OR CONCRETE, THE SANITARY WALLS TO HAVE REINFORCEMENT OF INTERNAL SHEET LINING 12MM MINIMUM THICK FROM FFL TO 2100MM HEIGHT FOR WC PAN SHOWER, BASIN & BATH INCLUDING GRAB RAILS

## ACCESS CONSTRUCTION TO AS1428.1

LAYOUT AND FIXTURES IN ACCORDANCE WITH AS1428.1 - 2010 INCLUDING

1. PROVIDE CLOTHES HANGING DEVICE GREATER THAN 600MM FROM INTERNAL CORNER
2. FREE ACCESS SPACE UNDER HAND BASIN TO AS1428.1 FIG43
3. INSTALL PAN BACKREST TO CLAUSE 15.2.4 CAPABLE OF WITHSTANDING A FORCE OF 1100N IN ALL DIRECTIONS
4. WC SEAT HEIGHT BETWEEN 450MM & 460MM ABOVE FFL
5. PROVIDE PRIVACY LATCH WITH SNIB HANDLE MINIMUM 45MM FROM SPINDLE CENTRE
6. PROVIDE BRAILLE & TACTILE SIGNAGE TO COMPLY WITH BCA-D3.6 BY OWNER
7. ENSUITES TO HAVE FULL TILE SKIRT & 2400MM HEIGHT TO SHOWER.
8. FLOORING & TILING TO BE R10 COMPLIANT & SLIP RESISTANT FLOOR TO EXTEND UNDER KITCHEN AND LAUNDRY JOINERY..

## PLUMBING CONSTRUCTION TO ASNZ3500

LEVER STYLE HARDWARE TO BASINS SHOWER, SINK, BATH, LAUNDRY TUB

## HOIST PROVISION

BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED. FOR FINAL-AS-BUILT STAGE OF SDA CERTIFICATION, THE STRUCTURE SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER AS BEING SUITABLE FOR CEILING HOISTS WITH MINIMUM LOAD CAPACITY OF 250KG

## INSULATION AND SARKING

CEILING THERMAL/SOUND INSULATION LAID OVER CEILING LINING (R VALUE TO BE CONFIRMED)

INTERNAL WALLS BRADFORD SOUNDSCREEN PLS (OR EQUAL APPROVED) FOR WALLS (R VALUE TO BE CONFIRMED)

EXTERNAL WALLS ACOUSTIC BATT IN W/FRAME CAVITY (OR EQUAL APPROVED) (R) VALUE TO BE CONFIRMED)

## ENTRANCE, DOORS AND WINDOWS

**LANDING** – PROVIDE A LEVEL LANDING AREA OF AT LEAST 1500 X 1500 WITH A MAXIMUM 1:40 GRADIENT CROSS FALL AT THE LEVEL STEP FREE EXTERNAL ENTRY DOORWAY (ON THE ARRIVAL SIDE) NOTE DOORWAY THRESHOLD RAMPED 35MM OVER 280 MM. ENTIRE DOORWAY SHALL BE IN FRONT OF THE LANDING AREA. A COVERED ROOF SHALL BE PROVIDED OVER THE ENTIRE REQUIRED LANDING AREA OUTSIDE THE MAIN EXTERNAL ENTRY DOORWAY.

### WINDOWS AND DOORS

**GENERALLY** TIMBER DOORS WHERE PROVIDED SHALL BE SOLID CORE DOORS. . PROVIDE LOCKABLE WINDOWS. WINDOW CONTROLS LOCATED 600 TO 1100 AFL.

**THRESHOLD** A STEP FREE DOORWAY SHALL BE PROVIDED TO AN EXTERNAL DOORWAY. WHERE SUCH THRESHOLD EXCEEDS 5MM AND IS LESS THAN 35MM A DOORWAY THRESHOLD RAMP IN ACCORDANCE WITH AS1428.1 WITH A MAXIMUM 1:8 GRADE SHALL BE PROVIDED.

### GLAZING

–GENERALLY SOLID (NON TRANSLUCENT) CONTRASTING GLAZING STRIP OF 75MM WIDTH AND BETWEEN 900 TO 1000MM

**DOOR HARDWARE** HARDWARE INSTALLED AT BETWEEN 900MM AND 1100MM FROM FFL

### FLOOR FINISHES

SLIP RESISTANCE OF ALL INTERNAL FLOORS SHALL BE MINIMUM OF P3 OR R10.

## MECHANICAL INSTALLATIONS

**AIR CONDITIONING** – PROVIDE REVERSE CYCLE AIR-CONDITIONING TO LIVING AREAS AND BEDROOMS WITH CONTROL PANELS IN AN ACCESSIBLE LOCATION BETWEEN 900MM AND 1100MM FROM FFL AND NOT CLOSER THAN 500MM TO ANY INTERNAL CORNER. WHERE DUCTED AC USED ZONING OF HABITABLE ROOMS SHALL BE PROVIDED.

## JOINERY

### CABINET HARDWARE

TYPES OF APPROPRIATE MECHANISMS FOR OPERATION OF KITCHEN CABINETRY SHALL BE ONE OR MORE OF THE OPTIONS AS NOTED BELOW:

- D PULL CUPBOARD HANDLES LOCATED TOWARDS THE TOP OF BELOW BENCH CUPBOARDS;
- D PULL CUPBOARD HANDLES LOCATED TOWARDS THE BOTTOM OF OVERHEAD CUPBOARDS;
- OVERHANGING LIP OF MINIMUM 20MM FOR OVERHEAD CUPBOARDS;
- PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND BELOW BENCH CUPBOARDS.

**STORAGE CABINET:** PROVIDE A 600 MM WIDE STORAGE CABINET WITH ADJUSTABLE SHELVES.

**ADJUSTABLE BENCH TOP:** PROVIDE HEIGHT ADJUSTABLE BENCH TOP. HEIGHT ADJUSTMENT TO BE FROM 720 MM TO 1020 MM CLEAR SPACE UNDERNEATH HEIGHT ADJUSTABLE BENCH TOP AND 900 MM CLEAR WIDTH WITH KNEE TOE CLEARANCES AS PER AS 1428.1 (AS REQUIRED BY HAND AND WASH BASINS).

### NDIS KITCHEN CONSTRUCTION

1. WHERE AN APPLIANCE SUCH AS A FRIDGE IS NOT PROVIDED, ALLOW FOR A MINIMUM 700MM DEPTH.
2. PROVIDE WALL OVEN WITH SIDE HINGE DOOR.
3. LOCATE ACCESSIBLE BENCH TOP NEXT TO WALL OVEN AND NEXT TO COOK TOP WITH 900MM CLEAR WIDTH UNDER THE BENCH TOP WITH KNEE / TOE CLEARANCES AS PER AS1428.1
4. COOK TOP CONTROLS ON SIDE OF ACCESSIBLE BENCH TOP OR AT FRONT EDGE OF THE BENCH TOP.
5. COOK TOP SHALL BE EITHER ELECTRIC OR INDUCTION AND SHALL BE LOCATED A MINIMUM OF 300MM FROM ANY INTERNAL CORNER.
6. OPERABLE PART OF LEVER TAP HANDLE AND WATER SOURCE SHALL BE WITHIN 300MM FROM EDGE OF BENCH TOP.
7. DRAWER STYLE DISHWASHER.
8. DOUBLE GPO SHALL BE WITHIN 300MM FROM THE EDGE OF THE BENCH TOP AND MAXIMUM HEIGHT OF 1100MM FROM FFL.
9. PANTRY WITH EXTENDABLE BASKET SHELVES OR FULL PULLOUT STYLE PANTRY MINIMUM 300 MM WIDE REFER TO JOINERY PAGE.

## ELECTRICAL INSTALLATIONS

**GENERALLY** TASK LIGHTING SHALL BE PROVIDED ABOVE WORKSPACES. A MINIMUM LEVEL OF 300 LUX SHALL BE ACHIEVED WHEN TESTED AT MAXIMUM INTERVALS OF 1500MM, DIRECTLY OVER THE SURFACE OF THE BENCH TOPS. RECESSED LIGHT FIXTURES SHALL BE PROVIDED.

**LIGHT SWITCHES** POSITION SWITCHES IN A CONSISTENT LOCATION BETWEEN 900 MM AND 1100 MM FROM FFL AND HORIZONTALLY ALIGNED WITH WITH DOOR HANDLE AT ENTRANCE TO ROOM DIMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS

**GPOs** FOR (FA) AND (HPS) INSTALL GPO'S BETWEEN 600MM AND 1100MM FROM FFL

**SWITCH TYPES** LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH 35 MM

## PAVING

**PAVING** PROVIDE A SAFE, CONTINUOUS STEP FREE PATHWAY FROM THE FRONT BOUNDARY OF THE PROPERTY OR A CAR PARK SPACE TO AN ENTRY DOOR TO THE DWELLING. THE THE PATH OF TRAVEL REFERRED TO IN (a) SHOULD HAVE A MINIMUM CLEAR WIDTH OF 1200 MM

- i. NO STEPS;
  - ii. AN EVEN, FIRM SLIP RESISTANT SURFACE;
  - iii. A CROSS FALL OF NOT MORE THAN 1:40;
  - iv. GENERALLY A MAXIMUM PATHWAY SLOPE OF 1:20 IS PERMITTED HOWEVER WHERE THE LEVEL DIFFERENCE IS OVER 190 MM A MAXIMUM GRADE OF 1:14 IS PERMITTED.
- WHERE RAMP SHARE REQUIRED THEY SHOULD HAVE LANDINGS PROVIDED AT NO GREATER THAN 9 M FOR A 1:14 RAMP AND NO GREATER THAN 15M FOR RAMPS STEEPER THAN 1:20. LANDINGS SHOULD BE NO LESS THAN 1200 MM IN LENGTH. A STEP RAMP MAY BE INCORPORATED AT AN ENTRANCE DOORWAY WHERE THERE IS A CHANGE IN HEIGHT OF 190 MM OR LESS. THE STEP RAMP SHOULD PROVIDE:
- i. A MAXIMUM GRADIENT OF 1:10
  - ii. A MINIMUM CLEAR WIDTH OF 1200 MM (NOTE: WIDTH SHOULD REFLECT THE PATHWAY WIDTH).
  - iii. A MAXIMUM LENGTH OF 1900 MM
- WHERE A RAMP IS PART OF THE PATHWAY, LEVEL LANDINGS NO LESS THAN 1200 MM IN LENGTH, EXCLUSIVE OF THE SWING OF THE DOOR OR GATE THAT OPENS ONTO THEM, MUST BE PROVIDED AT THE HEAD AND FOOT OF THE RAMP.

**CAR PARK** FOR PARTICIPANTS (EXCLUDES STAFF) MINIMUM DIMENSIONS OF AT LEAST 3800 MM (WIDTH) X 5400 MM (LENGTH) PROVIDE EVEN, FIRM AND SLIP RESISTANT SURFACE OF P4 OR R11 WITH MAX 1:40 CROSS FALL IN ANY DIRECTION. NOTE ROOF OVER REQUIRED FOR (FA) AND (HPS) WITH VERTICAL CLEARANCE TO AS2890.6

**COMMON USE EXTERNAL AREAS, PRIVATE OPEN SPACE AND LANDSCAPING EXTERNAL STAIRWAYS** COMPLY WITH 1428.1

**RAMPS AND ACCESS WAY, ALL RAMPS AND ACCESS WAY PROVIDED TO ALL EXTERNAL COMMON AND PRIVATE USE AREAS SHALL COMPLY WITH THE REQUIREMENTS OF RAMPS AND ACCESS WAY FOR THE RELEVANT SDA CATEGORY**

## FIRE SAFETY

Evacuation plan Provide emergency evacuation plan to occupier or their supports  
SMOKE ALARMS: PROVIDED IN BEDROOMS & LIVING SPACES

## ASSISTIVE TECHNOLOGY

PROVIDE HIGH SPEED WIFI INTERNET CONNECTION

PROVIDE A COMMUNICATION SYSTEM BETWEEN PARTICIPANTS & THEIR SUPPORT



High Physical Support



**North Eastern Designers Pty. Ltd**  
5A MEREDITH ST BROADVIEW  
82693652 0412583652 FX 82693652

<b>REVISION</b> A: 2-8-2023 B: 20-11-2023	<b>DATE</b> August 2023	<b>ISSUE</b> APPLICATION	<b>CLIENT</b> A. Malik	<b>PROJECT</b> Supported Accommodation
	<b>PROJECT No.</b> 190820231	<b>SHEET</b> 14	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale	<b>DRAWING TITLE</b> Details

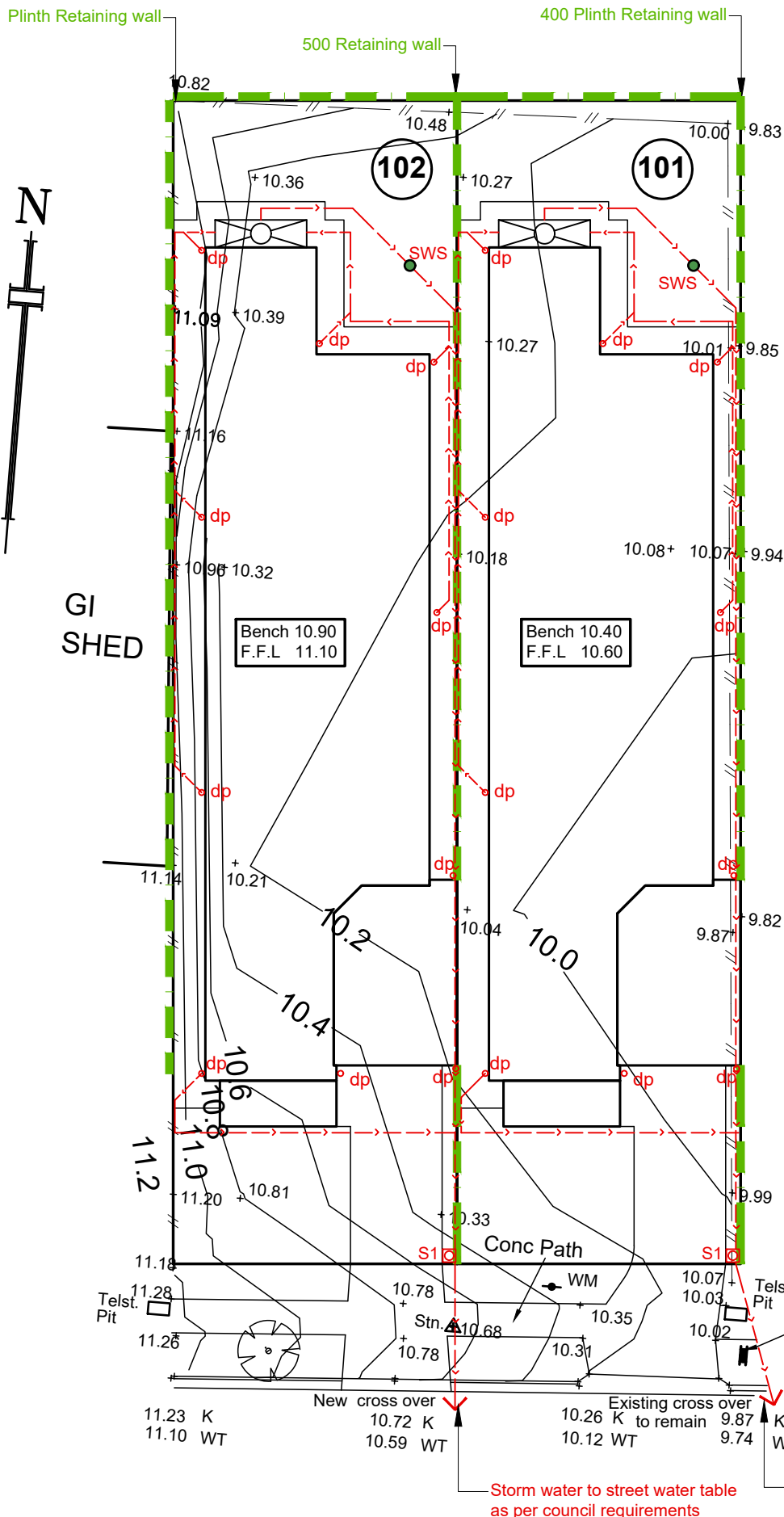


# 101 & 102

## LEGEND

- SHRUBS TO 3.0  
Amelia grandiflora  
Viburnum Burkwoodii  
Euonymus Japonica
- MEDIUM SHRUBS TO 1.5  
Correa pulcheli  
Cassia artemisioides  
Correa Alba
- SMALL SHRUBS TO 1.0  
Berberis Thunbergil  
Rosemary Cuphea  
Ignea
- TREE  
Acer Palmatum (Japanese Maple)
- 1800 Double sided good neighbour colorbond fence
- Paved drive
- Lawn
- GROUND COVER  
BCarpobrotus rossii  
pa Scopia Great Pink  
Mesembryanthemum ( Pig face)

- S1 300 Cube concrete wet sump with galvanised grate top (S1)
- S2 Everhard Series 600 Storm water Pit complete with a Class A galvanised metal grate or similar
- °dp Down pipe
- 90 Diam. Grated surface storm water sump (SWS)
- 90 Diam. Storm water drain  
Note: Sealed drain to Rain water tank
- 100 Diam. Storm water drain
- Retaining wall
- 150 Storm water grate
- 100mm concrete plinth
- S. Tank Septic Tank (As per engineer's design)
- 3,000 Ltr. rain water tank



## NOTE:

- All storm water pipes shall be laid as per AS 3500 to achieve minimum cover & grade (0.5%Min.) U.N.O. if cover can not be achieved encase pipe in 100 thick concrete.
- Where sumps/grates or the like are cast into a concrete slab provide 2-N12 crack control bars at the corners of such cast-in items. Bars are to be 1000 long & tied to the top layer of slab reinforcement.
- Bedding & back filling around storm water pipes shall conform to AS 3725-1989
- Bedding sand for storm water pipes shall be coarse, free flowing pit sand, with a plasticity index less than 5.0. The material shall be clean with 100% passing the 6.7mm sieve and not greater than 10% passing a 0.075 sieve. It shall have a minimum compacted depth of 75mm.
- Provide lagging to all pipe penetrations through footing beams.  
Up to H1 class site: 20mm thick lagging  
H2-E class site: 40mm thick lagging
- Install 3,000 Ltr (Retention 2,000 & 1,000 Ltr. Detention) rain water tank in accordance with the BCA & NCC (Collecting a minimum of 60% of roof area) & ensure the tank water is A. Plumbed to at least a water closet & water heater or all laundry cold water outlets.  
B. The inlet and overflow of the tank must be fitted with mosquito proof non degradable screen formed from 0.315 Ø material and have a minimum of 6x7 opening sq.cm.

TBM RL 10.00m BOTT BOLT STOBIE NORTH SIDE ASSUMED DATUM

## CIVIL PLAN

Scale 1:200



**North Eastern Designers Pty. Ltd**  
5A MEREDITH ST BROADVIEW  
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**REVISION**  
A: 2-8-2023  
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**DATE**  
August 2023

**ISSUE**  
APPLICATION

**CLIENT**  
A. Malik

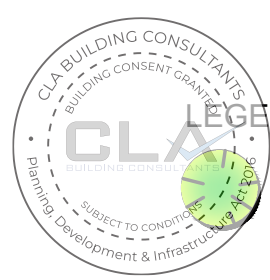
**PROJECT**  
Supported  
Accommodation

**PROJECT No.**  
190820231

**SHEET**  
15

**SITE ADDRESS**  
Lot 102 & 101  
15 Emerald Rd,  
Morphett Vale

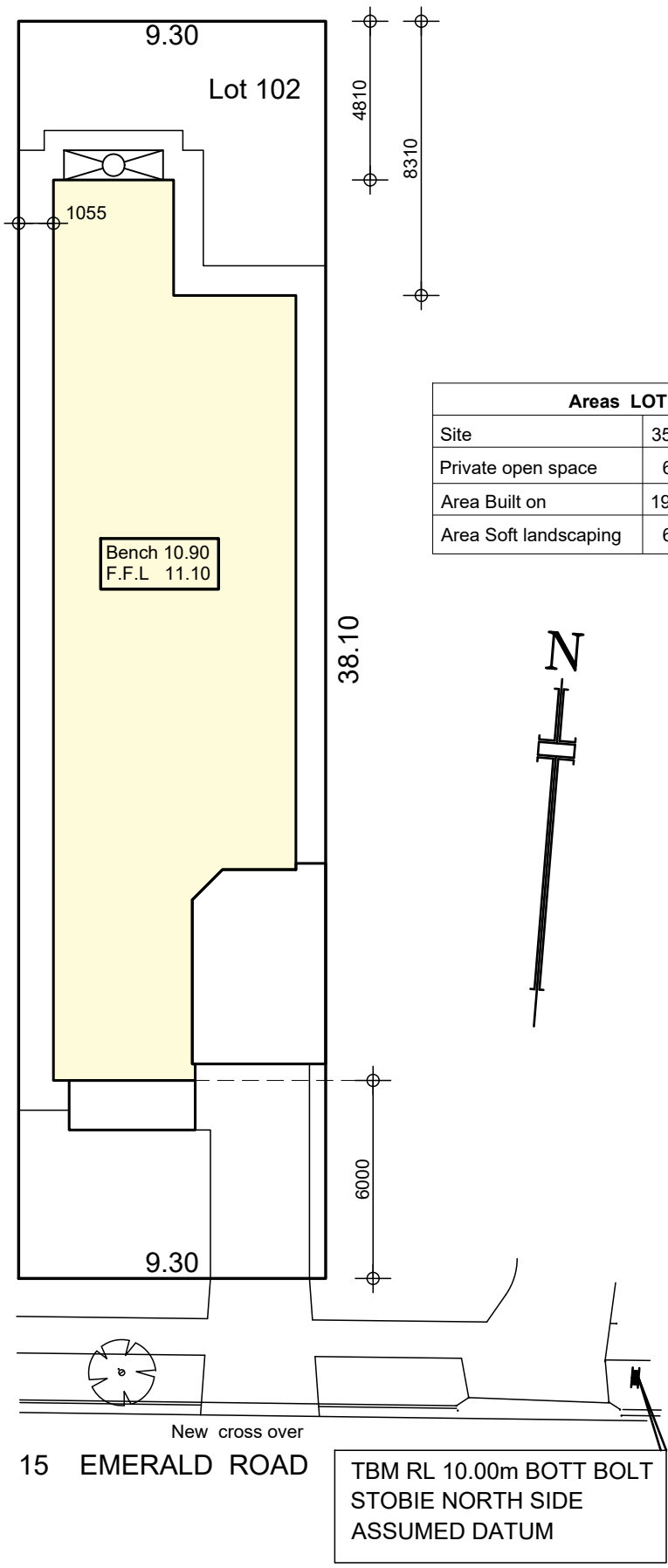
**DRAWING TITLE**  
Civil Plan



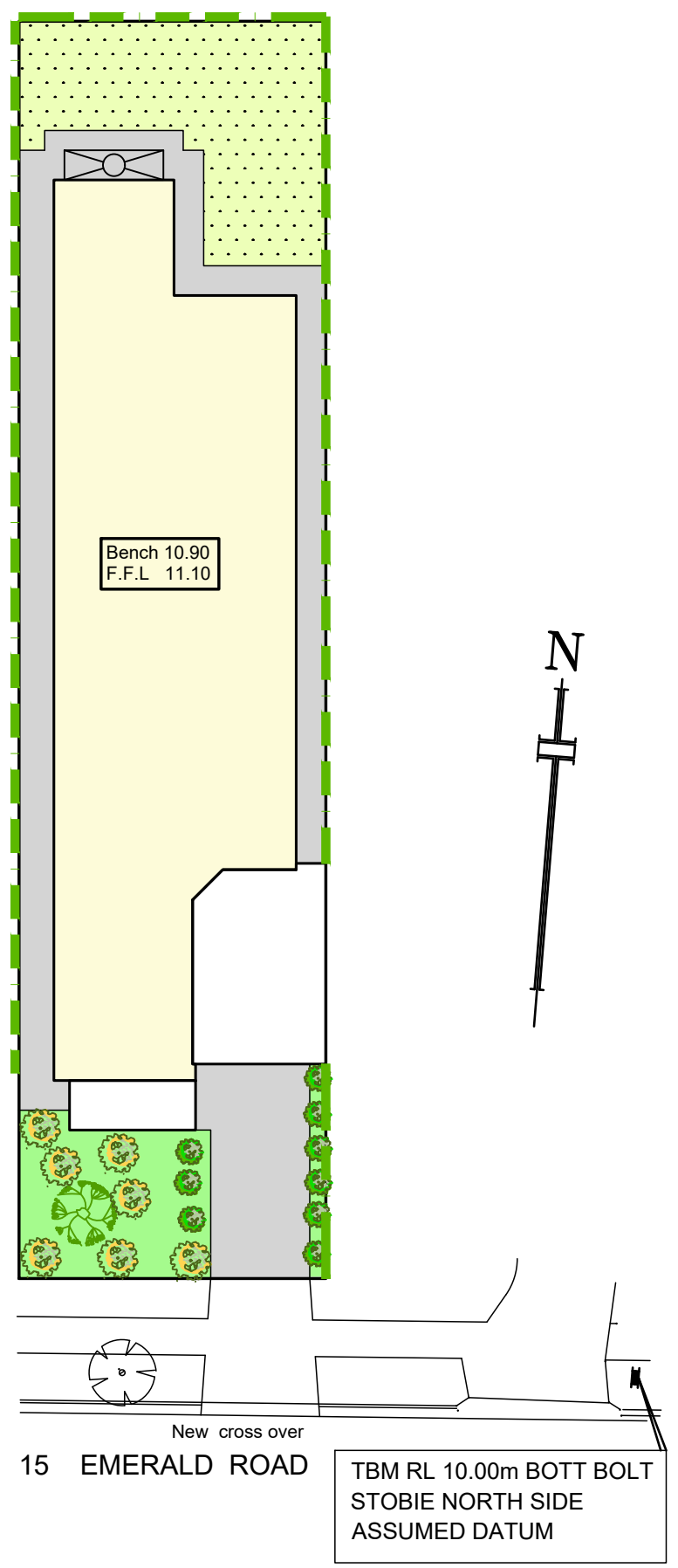
LEGEND

- 1800 Double sided good neighbour colorbond fence
- Paved drive
- Lawn
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Areas LOT 102		
Site	354.00m <sup>2</sup>	
Private open space	60.80m <sup>2</sup>	17.17%
Area Built on	197.15m <sup>2</sup>	55.70%
Area Soft landscaping	69.90m <sup>2</sup>	19.70%



**SITE PLAN**

Scale 1:200

**LANDSCAPE PLAN**

Scale 1:200



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<b>PROJECT No.</b> 190820231	<b>SHEET</b> 16	<b>SITE ADDRESS</b> Lot 102/ 15 Emerald Rd, Morphett Vale		<b>DRAWING TITLE</b> Site Plan